



AGENDA

VILLAGE OF LITTLE CHUTE PLAN COMMISSION MEETING

PLACE: Little Chute Village Hall – Village Board Room

DATE: Monday, July 12, 2021

TIME: 6:00 p.m.

- A. Call to Order
- B. Roll Call
- C. Public Appearance for Items Not on the Agenda

Virtually attend the July 12th Plan Commission meeting at 6 PM by following the link here:

<https://zoom.us/j/91070918785>

Meeting ID: **910 7091 8785**

Call-in Information: +1 (312) 626-6799 US (Chicago)

Meeting ID: 910 7091 8785

1. Approval of Minutes from the Plan Commission Meeting of June 14, 2021
2. Discussion/Recommendation—Robs Imports Site Plan Review
3. Discussion/Recommendation—Outagamie County R&G Site Plan
4. Recommendation—Ordinance to Create Pine Street Pedestrian Mall
5. Recommendation—310 Allegiance Court Conditional Use
6. Unfinished Business
7. Items for Future Agenda
8. Adjournment

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 108 West Main Street, (920) 423-3852 July 8, 2021



Information for the Plan Commission Meeting – July 12, 2021 – 6:00 PM

The Village of Little Chute is taking precautions related COVID-19 as it relates to Village Board meetings. On March 16th, 2020, the Wisconsin Attorney General released guidance for local communities related to Open Meetings and the use of technology while still complying with Wisconsin's Open Meeting laws. You can find Wisconsin Department of Justice guidance here: [DOJ Guidance on Open Meetings](#).

Until further notice, the Village of Little Chute will be providing the following means for residents to interact, engage, and participate in Village Board proceedings. The proceedings of all Village of Little Chute public meetings are recorded and available for review.

1. Virtually attend the July 12th Plan Commission Meeting at 6:00 PM by following the link here:
Join Zoom Meeting
<https://zoom.us/j/91070918785>
Meeting ID: 910 7091 8785
2. Call-in Information: United States
One tap mobile:
+13126266799,,91070918785#,, US (Chicago)
+13017158592,,91070918785#,, US (Washington D.C)
3. Dial by your location:
+1 312 626 6799 US (Chicago)
+1 301 715 8592 US (Washington D.C) +1 929 436 2866 US (New York)
+1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston)
+1 669 900 6833 US (San Jose)
Meeting ID: 976 1567 6559
Find your local number: <https://zoom.us/u/abGpaew1E>
4. If you are experiencing connectivity issues or have questions on the options above, please contact Dave Kittel at david.kittel@littlechutewi.org
5. The Board Room at Village Hall will be open, but board members and staff have the option to attend virtually. We urge residents to participate in our meetings by utilizing the virtual options above.
6. If you have questions or comments regarding the agenda or potential items on the agenda, we urge you to contact Board or staff members regarding your concerns. You can find Board Member contact information here: <http://www.littlechutewi.org/59/Meet-the-Village-Board>
7. If you have questions or comments regarding the agenda and want to contact a Village of Little Chute Department Head, you can find a complete staff directory here: <http://www.littlechutewi.org/directory.aspx>

MINUTES OF THE PLAN COMMISSION MEETING JUNE 14, 2021

Call to Order

The Plan Commission meeting was called to order at 6:00 p.m. by President Vanden Berg

Roll Call

PRESENT: Bill Van Berkel
President Vanden Berg
Larry Van Lankvelt
Jim Moes
Kent Taylor
Richard Schevers
EXCUSED: Todd Verboomen
STAFF PRESENT: Community Development Director Kittel

Public Appearance for Items Not on the Agenda

None

Approval of Minutes from the Plan Commission Meeting of May 3, 2021

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Approve the Minutes the Plan Commission Meeting of May 3, 2021

All Ayes—Motion Carried

Public Hearing 1215 Buchanan Street

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to enter public hearing

All Ayes— Motion Carried

Director Kittel went over the request for the Conditional Use for 1215 Buchanan Street to open Heirloom Kitchen. Director Kittel advised the business for the most part will not be open to the public. The applicant, Tracy Darling was present at the meeting and advised they will be doing cooking from this facility and was available for any questions from the Commission. Commissioner Moes asked for anticipated hours; Ms. Darling advised the plan is to be open Tuesday through Saturday and generally they would be closed from 10:00 p.m. to 5:00 a.m. but occasionally may have to be there for special events. Director Kittel advised there will be a fence installed and scheduling truck deliveries during regular business hours only. There have not been any comments received from neighbors.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to exit public hearing

All Ayes— Motion Carried

Discussion/Action—1215 Buchanan Conditional Use

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Approve the Conditional Use application for use as a catering kitchen with the stipulation they be closed between 10:00 p.m. to 5:00 a.m. for any deliveries or truck traffic. Also stated the maximum sign will be 20 square feet and will hire a plumbing company to install a grease trap to prevent any clogging. Also added the installation of a maintenance free fence along the lot line according to code.

All Ayes—Motion Carried

Recommendation—Land O' Lakes Site Plan Review

Director Kittel advised the site plan is for a small addition to the existing building and staff is recommending approval. Joe the Civil Engineer from Mc Mahon advised there will be a transformer pad installed to help with utilities for some remodeling being done inside.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to recommend Approval of the Land O' Lakes Site Plan to the Village Board and added that the Commission would like clean up the current area of gravel.

All Ayes—Motion Carried

Recommendation—Evers CSM

Director Kittel advised staff is recommending approval

Moved by Commissioner Moes, seconded by Commissioner Van Berkel to Recommend Approval to the Village Board of the Evers CSM subject to property owners planting a lawn within 60 days of recording the CSM

All Ayes—Motion Carried

Recommendation—310 Allegiance Court CSM

Director Kittel advised this CSM is to combine lot 10 & 11 to one lot.

Moved by Commissioner Moes, seconded by Commissioner Van Berkel to Recommend Approval to the Village Board to combine lots 10 and 11 into one lot as presented on the Evers CSM

All Ayes—Motion Carried

Recommendation—360 Property Management, LLC CSM

Director Kittel advised this request is to separate three separate lots and staff is recommending approval.

Moved by Commissioner Moes, seconded by Commissioner Van Lankvelt to Recommend Approval to the Village Board for the 360 Property Management CSM as presented.

All Ayes—Motion Carried

Recommendation—Silverleaf LLC CSM

Director Kittle went over the request from Silverleaf LLC and advised the board that a 2/3rds vote will be needed to approve this CSM, staff is recommending approval.

Moved by Commissioner Van Berkel, seconded by Commissioner Van Lankvelt to Recommend to the Village Board Approval of the CSM as presented

All Ayes—Motion Carried

Unfinished Business

None

Items for Future Agenda

None

Adjournment

Moved by Commissioner Van Lankvelt, seconded by Commissioner Schevers to Adjourn the Plan Commission Meeting at 6:35 p.m.

All Ayes— Motion Carried

VILLAGE OF LITTLE CHUTE

By: Michael Vanden Berg, Village President

Attest: Laurie Decker, Village Clerk

NEW BUILDING FOR: LOT #10-11

ALLEGIANCE COURT LITTLE CHUTE, WISCONSIN

SPECIFICATION NOTES

- A. GENERAL:
- All work and materials shall conform to the 2015 International Building Code as adopted by the State of Wisconsin and all other applicable state and local codes. All work shall be performed in a complete and workmanlike manner.
 - Provide adequate clearances from power lines and other hazards. Notify all affected utility companies to locate existing lines. Provide at least three working days notice if any remarking of utility locations is required.
 - Provide all necessary labor, materials, equipment, and services required to complete all work as specified or shown on these drawings.
- B. SITE WORK:
- The following items shall be included with the earthwork contractor's work: All excavating and backfilling including foundation walls and footings, shaping ditches, grading, and granular base course. All backfill material inside building lines shall be granular in nature, placed in layers not to exceed 9 inches thickness, and compacted by means of vibratory equipment to at least 95% of maximum density, at optimum moisture content, in accordance with ASTM D 1557-91. Top 3" shall be crusher run gravel.
 - The following items shall be covered under separate contracts: Bituminous pavement, concrete curbs and driveway aprons, sewer & water work, and landscaping.
 - Earthwork Contractor's bid shall include excavating, trenching, and backfilling for all walls and footings. All backfill material within building lines shall be granular in nature, placed in layers not to exceed 9 inches thickness, and machine compacted to at least 95% of maximum density, at optimum content, in accordance with ASTM D 1557-91. Top 3" shall be crusher run gravel.
 - Prevent surface water and subsurface or ground water from flowing into excavations and from flooding project site and surrounding area.
- Do not allow water to accumulate in excavations. Remove water to prevent softening of foundation bottoms, undercutting footings, and soil changes detrimental to stability of subgrades and foundations. Provide and maintain pumps, well points, sumps, suction and discharge lines, and other dewatering system components necessary to convey water away from excavations.
- Establish and maintain temporary drainage ditches and other diversions outside excavation limits to convey rain water and water removed from excavations to collecting or run-off areas. Do not use trench excavations as temporary drainage ditches.
- C. PRE-ENGINEERED METAL BUILDING
- Building shall be designed, manufactured, and erected in conformance with MBMA standards.
 - Pre-engineered metal building permit drawings shall be designed, and sealed by a Wisconsin-registered Professional Engineer.
 - Pre-engineered metal building designer shall supply Utschig Inc. four (4) copies of stamped drawings and (2) sets of calculations for submittal to Dept. of Commerce.
 - Metal building designer shall include adequate provisions to accommodate thermal expansion and contraction of roof system. Provisions may include longitudinal and/or transverse roof steps (joints), special ridge and eaves connection details; at the designer's discretion.
- D. FINISH ITEMS:
- Insulation shall be as noted on drawings.
 - Exterior service doors shall be hollow core metal doors, with polystyrene foam cores, in metal frames. Frames to be insulated with 4" insulation. All required exit doors shall have illuminated exit lights and exit hardware in conformance with Wisconsin Enrolled Commercial Building Code Chapter 10, section 1003.2.10.
 - Exterior overhead doors, frames, and hardware shall be similar to Bay-Therm 11 insulating door.
- E. HVAC WORK: Covered under separate contract.
- F. ELECTRICAL WORK: Covered under separate contract.
- G. PLUMBING WORK: Covered under separate contract.

GENERAL NOTES

ONE SET OF "STATE OF WISCONSIN - CONDITIONALLY APPROVED" PLANS MUST BE KEPT ON SITE DURING ALL WORKING PERIODS.

CONTRACTORS SHALL LOCATE ALL UTILITIES BEFORE CONSTRUCTION AND NOTIFY ENGINEER AND OWNER OF ANY INTERFERENCES.

CONTRACTORS SHALL PROVIDE ALL BARRIERS, BARRICADES, FENCES AND SAFETY EQUIPMENT AND PRECAUTIONS REQUIRED BY ALL CODES AND SAFE CONSTRUCTION PRACTICES.

ALL CONSTRUCTION SHALL CONFORM TO STATE AND LOCAL CODES AND ORDINANCES.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.

CONSTRUCTION OF THIS BUILDING SHALL MEET OR EXCEED ALL APPLICABLE ORDINANCES, CODES AND STANDARDS. IN THE CASE OF CONFLICT, THE MOST STRINGENT SHALL APPLY.

THIS SET OF DRAWINGS SHOW AS CLEARLY AS POSSIBLE THE INTENT OF THIS PROJECT. IT IS IMPOSSIBLE TO SHOW EACH AND EVERY SPECIFIC DETAIL COMPONENT, ANCHOR, ETC. ON THE DOCUMENTS. THEREFORE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROVIDE ALL LABOR AND MATERIAL, INCLUDING ITEMS NOT SPECIFICALLY SHOWN, AS NECESSARY TO ACCOMPLISH THE INTENT OF THESE DOCUMENTS AND A COMPLETE OPERATING SYSTEM OR ASSEMBLY.

VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION.

ALL PLAN DIMENSIONS ARE NOMINAL. SEE DETAILS FOR ACTUAL DIMENSIONS NEEDED AND COORDINATE ALL DIMENSIONS WITH SHOP DRAWINGS AND MATERIAL SUPPLIERS.

DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.

REFER TO ALL DRAWINGS, INCLUDING ARCHITECTURAL, CIVIL, AND STRUCTURAL FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.

ALL DRAWINGS ARE OF EQUAL IMPORTANCE IN DEFINING WORK OF THIS CONTRACT. CONTRACTORS SHALL REVIEW ALL DRAWINGS PRIOR TO INSTALLATION OF THEIR WORK. SHOULD THERE BE A DISCREPANCY WITHIN AND BETWEEN THE DRAWINGS, NOTIFY THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT ITS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT/ENGINEER.

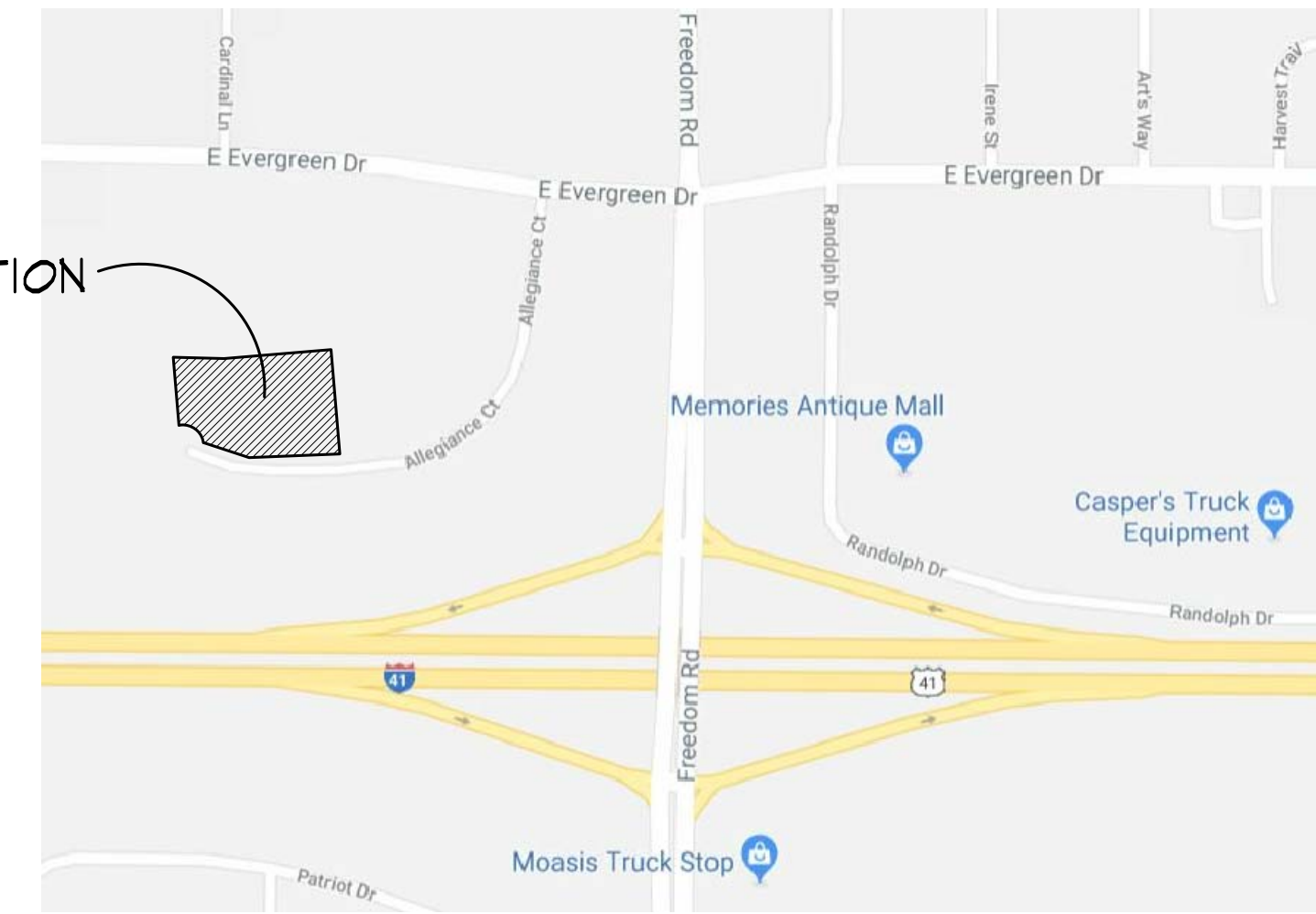
DO NOT SCALE DRAWINGS. THE DRAWINGS MAY NOT NECESSARILY BE TO SCALE - USE GIVEN DIMENSIONS. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO COMMENCING WITH THE WORK.

GENERAL CONTRACTOR SHALL COORDINATE ALL FIRE PROTECTION, PLUMBING, HVAC AND ELECTRICAL FLOOR, ROOF, AND WALL SLEEVES AND ALL SHAFTS WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS.

FIRE PROTECTION, PLUMBING, HVAC AND ELECTRICAL DESIGN/BUILD CONTRACTORS SHALL PROVIDE SLEEVED PENETRATIONS THROUGH FIRE-RATED CONSTRUCTION WITH FIRE-SAFING AND/OR FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.

PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL SUBMIT PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATING BUILDING COMPONENTS. UPON SATISFACTORY REVIEW OF ARCHITECT/ENGINEER, GENERAL CONTRACTOR TO PROVIDE 3 SETS OF ENGINEERED METAL BUILDING DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WISCONSIN TO THE ARCHITECT/ENGINEER AS A STRUCTURAL COMPONENT SUBMITTAL.

PROJECT LOCATION



VICINITY MAP
N.T.S.

PROJECT INFORMATION

OWNER:
T.J. UTSCHIG
N1040 CRAFTSMEN DR.
GREENVILLE, WI 54942

CONTACT:
P.(920) 757-0999

DESIGNERS OF RECORD:
ARCHITECT: UTSCHIG, INC.
N1040 CRAFTSMEN DR.
GREENVILLE, WI 54942
P.(920) 757-0999

CONTACT: JASON TEGHLIN

CONTRACTOR:
UTSCHIG, INC.
N1040 CRAFTSMEN DRIVE
GREENVILLE, WISCONSIN 54942
920-757-0999

ACTUAL AREA PER FLOOR

BUILDING AREA	
GRADE LEVEL	16,248 S.F.
MEZZ. LEVEL	2,334 S.F.
TOTALS	18,582 S.F.

PROJECT AREA 18,582 S.F.

ALLOWABLE AREA PER FLOOR

SI USE
70,000 PER TABLE 506.2

GRADE PLAN DETERMINATION
THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 21'-0"
ALLOWABLE HEIGHT PER TABLE 503 IS 55'

NUMBER OF STORIES (1)
THIS BUILDING HAS ONE FLOOR LEVEL
W/ ENCLOSED MEZZANINE

OCCUPANCY: STORAGE SI & B NON-SEPARATED
TYPE OF CONSTRUCTION: IIB (METAL FRAMED UNPROTECTED)
FULLY-SPRINKLERED

OCCUPANT LOAD T4 (CALCULATED)
OFFICE - (21) 2,058 / 100
SHOP - (24) 14,190 / 500
EGRESS WIDTH REQUIRED
2' / OCCUPANT NON-SPRINKLERED
50' X 2 = 10.0' REQUIRED

EXIT ACCESS TRAVEL DISTANCE
250' PER TABLE 1016.1

STATE REVIEW INFORMATION:

SITE I.D.: -
SITE NAME: LOT #10-11
SITE ADDRESS: ALLEGIANCE COURT, LITTLE CHUTE, WI 54140
SITE MUNICIPALITY & COUNTY: VILLAGE OF LITTLE CHUTE, OUTAGAMIE CO.
TRANSACTION I.D.: -

INDEX OF DRAWINGS

T100	TITLE SHEET
C101	PROPOSED SITE PLAN
C102	FUTURE SITE PLAN
SHT. 1	UTILITIES PLAN
SHT. 2	EROSION CONTROL PLAN
A101	FIRST FLOOR PLAN
A102	MEZZANINE FLOOR PLAN
A201	BUILDING ELEVATIONS

NEW BUILDING FOR:

LOT #10-11

ALLEGIANCE COURT, LITTLE CHUTE, WI

TITLE SHEET

No. Date Description
1 5-27-21 PLAN REVISIONS

Page Information

Drawn By EAF Approved By JJW

Project No. 21-2317 Date 6/18/21

Sheet No.

ISSUED FOR SITE PLAN APPROVAL

6/18/21

T100

6/18/21

UTSCHIG
DESIGN - CONSTRUCTION - DEVELOPMENT
Your Construction Solution!

PHONE: 920.757.0999
FAX: 920.757.1015
N1040 CRAFTSMEN DRIVE
GREENVILLE, WI 54942

- LEGEND**
- MH = MANHOLE
 - CB = CATCH BASIN
 - FD = FIRE HYDRANT
 - WV = WATER VALVE
 - SSO = STORM SEWER OUTLET
 - CP = CULVERT PIPE
 - I = INLET
 - TEP = TELEPHONE PEDESTAL
 - EL. 000.00 = EXISTING SPOT ELEVATION
 - + EL. 000.00 = PROPOSED SPOT ELEVATION
 - = EXISTING CONTOURS
 - - - = PROPOSED CONTOURS
 - UT = UNDERGROUND TELEPHONE LINE
 - UG = UNDERGROUND NATURAL GAS LINE
 - W = WATER MAIN
 - WV = WATER VALVE
 - UE = UNDERGROUND ELECTRIC
 - ST = STORM SEWER
 - SAN = SANITARY SEWER
 - D = DITCH LINE
 - S = SILT FENCE
 - [Hatched] = LIMITS OF PROPOSED BITUMINOUS PAVEMENT
 - [Dotted] = LIMITS OF PROPOSED CONCRETE PAVEMENT
 - [Cross-hatched] = LIMITS OF PROPOSED GRAVEL PAVEMENT

DETENTION BASIN

OWNER: HJT DEVELOPMENT, INC.
 N1040 CRAFTSMEN DRIVE
 GREENVILLE, WI 54942
 T J UTSCHIG
 920-757-0999

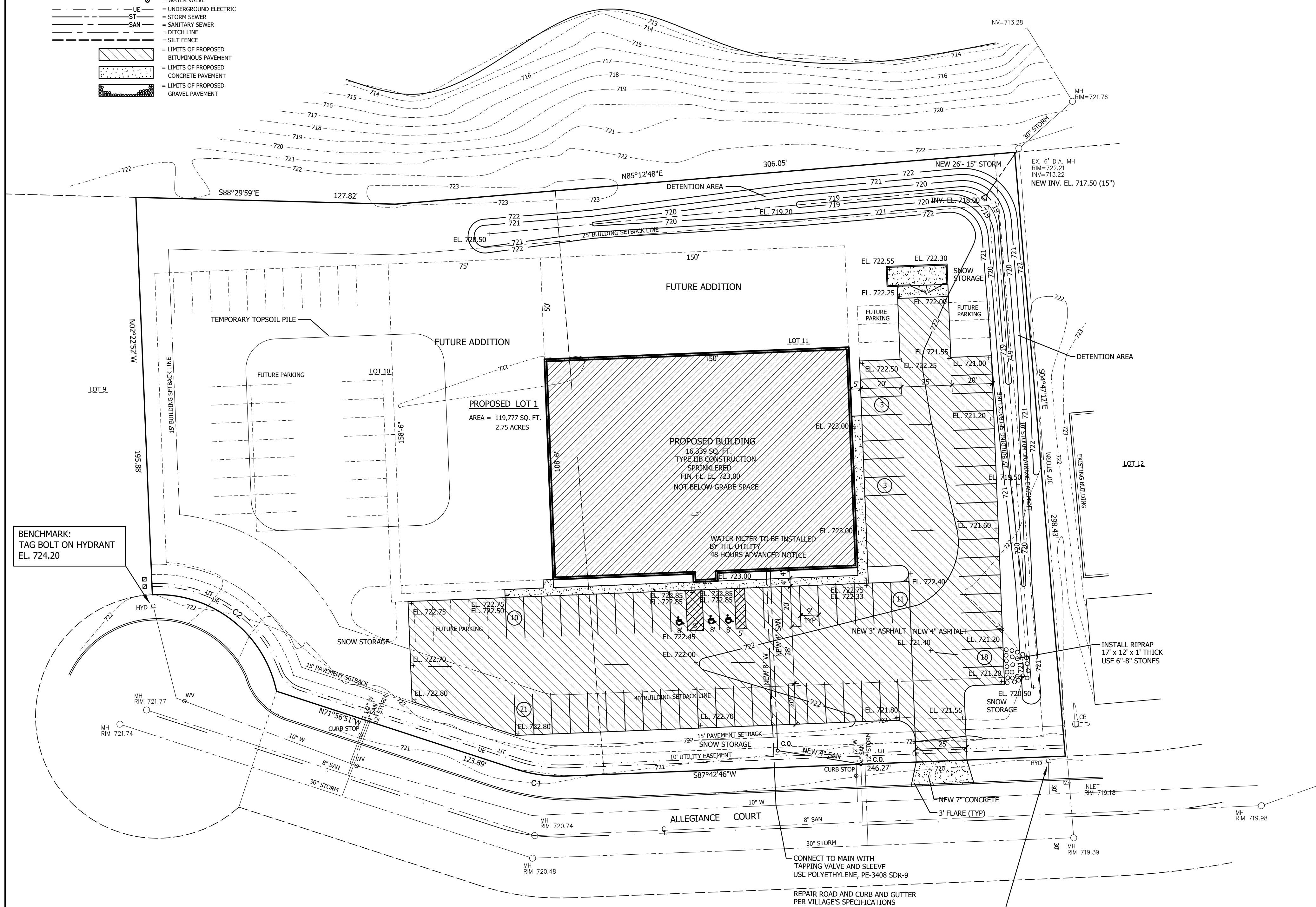
PLAN PREPARER: HARRIS & ASSOCIATES, INC.
 2718 N. MEADE STREET
 APPLETON, WI 54911
 920-733-8377
 ctollefson@harrisinc.net

- LEGAL DESCRIPTION: LOTS 10 AND 11 OF HJT BUSINESS PARK-NORTH, LOCATED IN THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 16, T21N, R18E, VILLAGE OF LITTLE CHUTE, OUTAGAMIE COUNTY, WISCONSIN
- TAX PARCEL NO.: 260442900 AND 260443000
- SITE ADDRESS: 300 AND 310 ALLEGIANCE COURT
- ZONING: COMMERCIAL HIGHWAY DISTRICT
- LAND USE - EXISTING: VACANT
 PROPOSED: AUTO REPAIR FACILITY
- OCCUPANCY CLASSIFICATION: S-1, VEHICLE REPAIR
- LOT AREA = 119,777 SQ. FT.
- EXISTING IMPERVIOUS = 0 SQ. FT.
- PROPOSED IMPERVIOUS = 45,401 SQ. FT. = 37.9%
- PROPOSED GREEN SPACE = 74,376 SQ. FT. = 62.1%
- DISTURBED AREA = 67,200 SQ. FT. = 1.54 ACRES
- NO PRODUCTS WILL BE MANUFACTURED OR SOLD ON SITE.
- NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
- NO FOOD OR BEVERAGES, SWIMMING POOL OR WHIRLPOOL, OR OVERNIGHT LODGING AT THIS LOCATION.
- PARKING REQUIRED: SUFFICIENT PARKING SUCH THAT NO PUBLIC STREET SHALL BE USED FOR PARKING. PARKING SHOWN: 66 STALLS INCLUDING 3 HANDICAP STALLS
- RECYCLING AND TRASH CONTAINERS TO BE LOCATED IN DUMPSTER ENCLOSURE.
- SETBACKS: FRONT 40 FEET
 SIDE 15 FEET
 REAR 25 FEET
- EXTERIOR LIGHTING WILL BE LOCATED ON THE BUILDING.
- NO SIGNAGE IS PLANNED WITH THIS PROJECT.
- SOIL TYPE: WINNECONNE SILTY CLAY LOAM AND MANAWA SILTY CLAY LOAM
- ANY EXISTING SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS A PART OF THIS PROJECT.

CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT FOR THE DRIVEWAY AND A PERMIT TO EXCAVATE IN THE RIGHT OF WAY FOR UTILITY INSTALLATION.

ANY CHANGES DURING CONSTRUCTION WILL BE APPROVED BY THE VILLAGE PRIOR TO INSTALLATION.

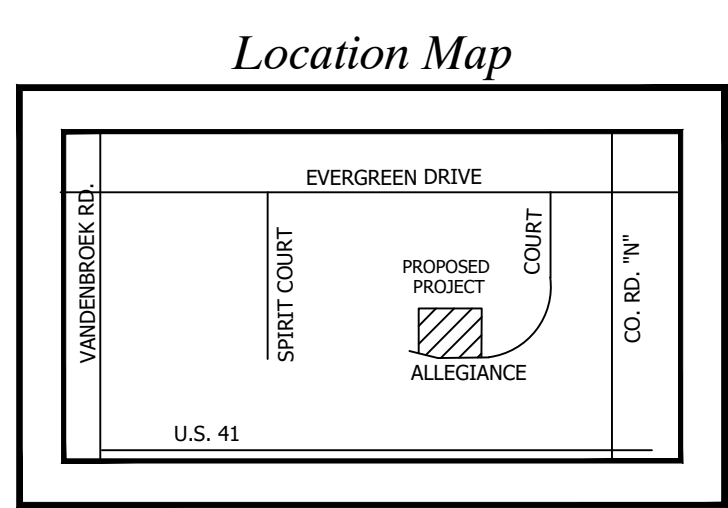
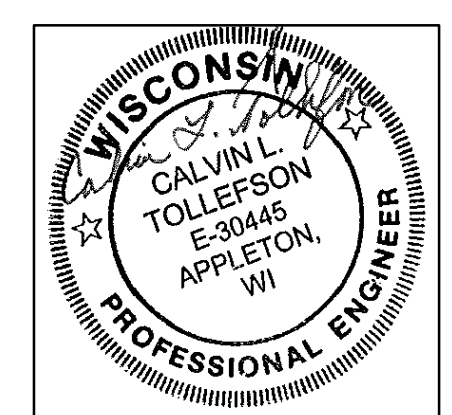
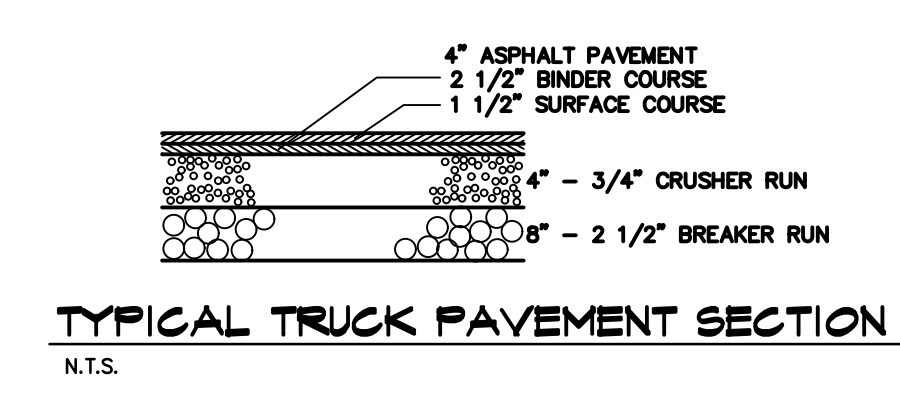
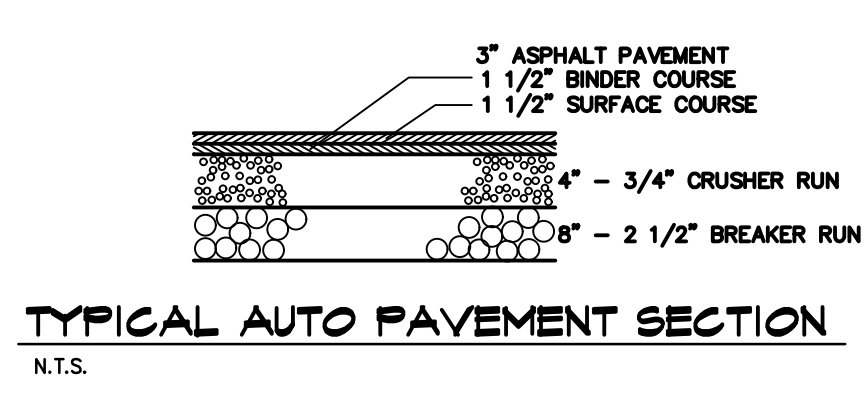
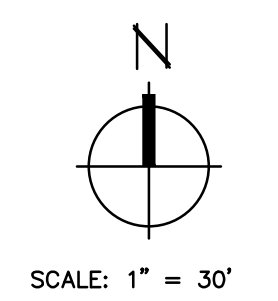
CONTRACTOR TO NOTIFY VILLAGE 48 HOURS PRIOR TO CONNECTION TO THE PUBLIC UTILITIES.



BENCHMARK:
TAG BOLT ON HYDRANT
EL. 724.20

BENCHMARK:
TAG BOLT ON HYDRANT
EL. 722.20

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	70.00'	24.85'	24.72'	N82°07'01.5" W	020°20'21"
C2	60.00'	184.21'	177.47'	S52°09'21" E	080°25'50"

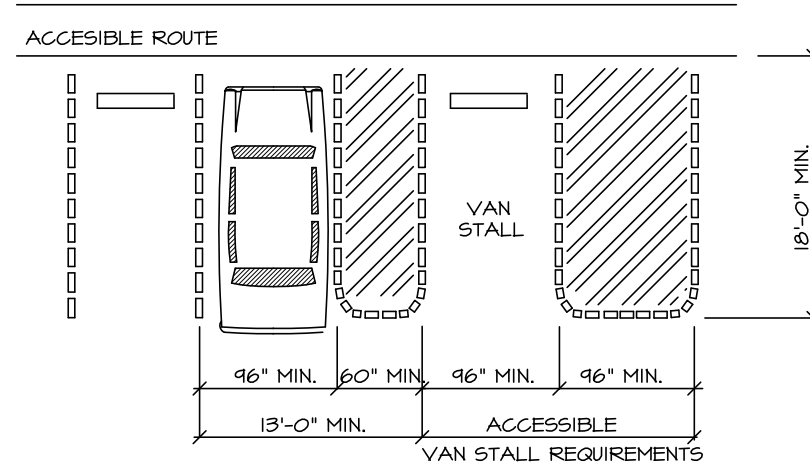


2718 NORTH MEADE ST.
 APPLETON, WI 54911
HARRIS & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 AND LAND SURVEYORS
 WWW.HARRISINC.NET

REV. NO.	DESCRIPTION	DATE	BY

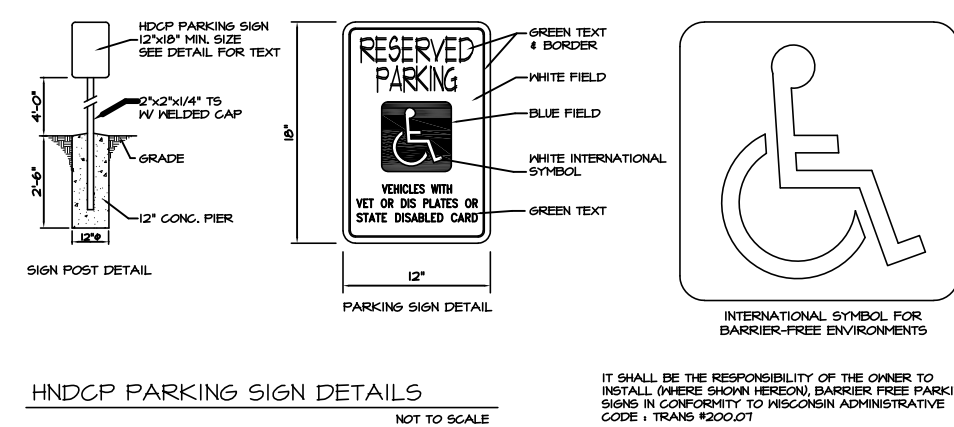
PROJECT: UTSCHIG ROB'S IMPORTS
LOCATION: 300-310 ALLEGIANCE COURT VILLAGE OF LITTLE CHUTE, WISCONSIN
DESCRIPTION: SITE / EROSION CONTROL PLAN

DRAWN BY: KWW
 CHECKED BY: KWW
 DATE: 6-15-21
 SHEET: 1
 DRAWING NUMBER: DS-10041



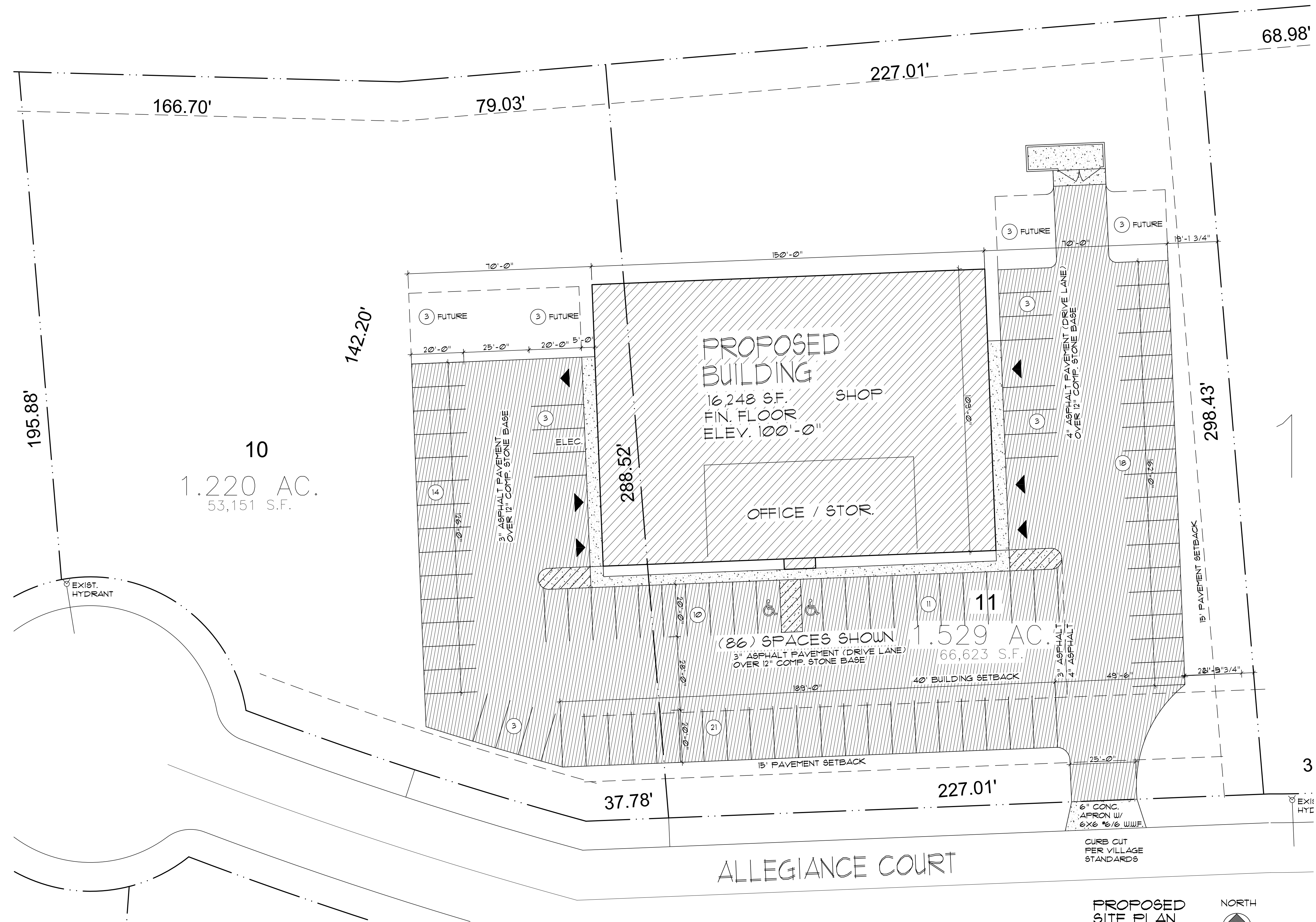
PARKING SPACE DIMENSIONS

NOTE: IF ONLY ONE ACCESSIBLE STALL IS REQUIRED THAT STALL MUST BE VAN ACCESSIBLE



HNDCP PARKING SIGN DETAILS
NOT TO SCALE

IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO INSTALL THESE SIGN (PERSONAL DISABLED-PERSON PARKING) IN ACCORDANCE TO PROVISION ADMINISTRATIVE CODE - TRAFFIC 90002.07



PROPOSED SITE PLAN
SCALE: 1" = 20'-0"
NORTH

NOTE: LOCATIONS OF EXISTING PROPERTY LINES, BUILDINGS, VEGETATION, EASEMENTS, UTILITIES, ETC. HAVE BEEN DETERMINED USING INFORMATION SUPPLIED BY OTHERS. UTSCHIG, INC. DOES NOT ASSUME RESPONSIBILITY FOR THEIR ACCURACY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS INDICATED ON THESE DRAWINGS PRIOR TO STARTING WORK.

PRELIMINARY - NOT FOR CONSTRUCTION

No.	Date	Description

Page Information

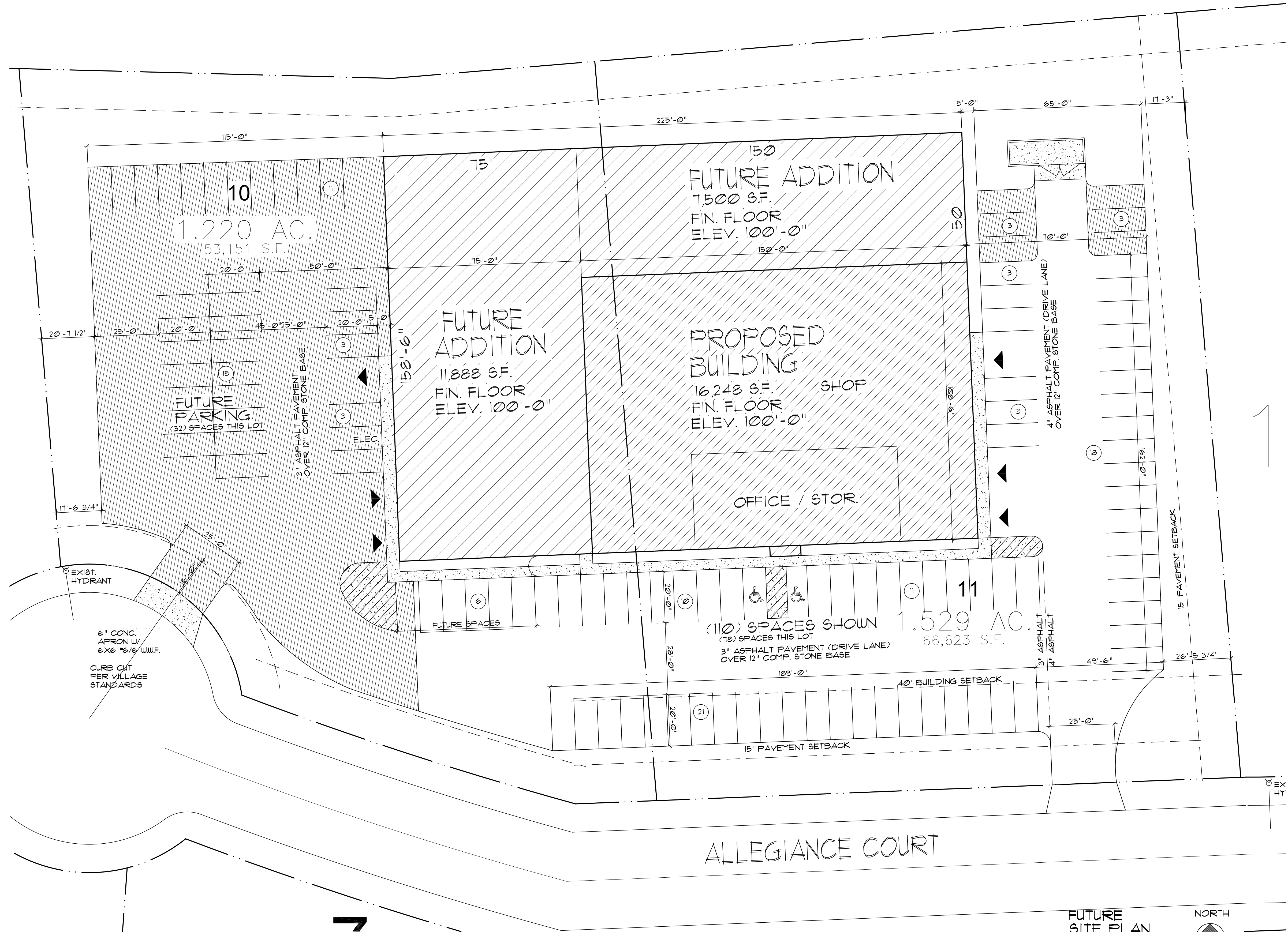
Drawn By EAF	Approved By JJW
Project No. 21-2317	Date 5/19/21
Sheet No.	

C101

NEW BUILDING FOR:
LOT #10-11
ALLEGIANCE COURT, LITTLE CHUTE, WI
PROPOSED SITE PLAN



PHONE: 920.757.0999
FAX: 920.757.1015
N1040 CRAFTSMEN DRIVE
GREENVILLE, WI 54942



FUTURE SITE PLAN
 SCALE: 1" = 20'-0"
 NORTH

NOTE: LOCATIONS OF EXISTING PROPERTY LINES, BUILDINGS, VEGETATION, EASEMENTS, UTILITIES, ETC. HAVE BEEN DETERMINED USING INFORMATION SUPPLIED BY OTHERS. UTSCHIG, INC. DOES NOT ASSUME RESPONSIBILITY FOR THEIR ACCURACY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS INDICATED ON THESE DRAWINGS PRIOR TO STARTING WORK.

PRELIMINARY - NOT FOR CONSTRUCTION

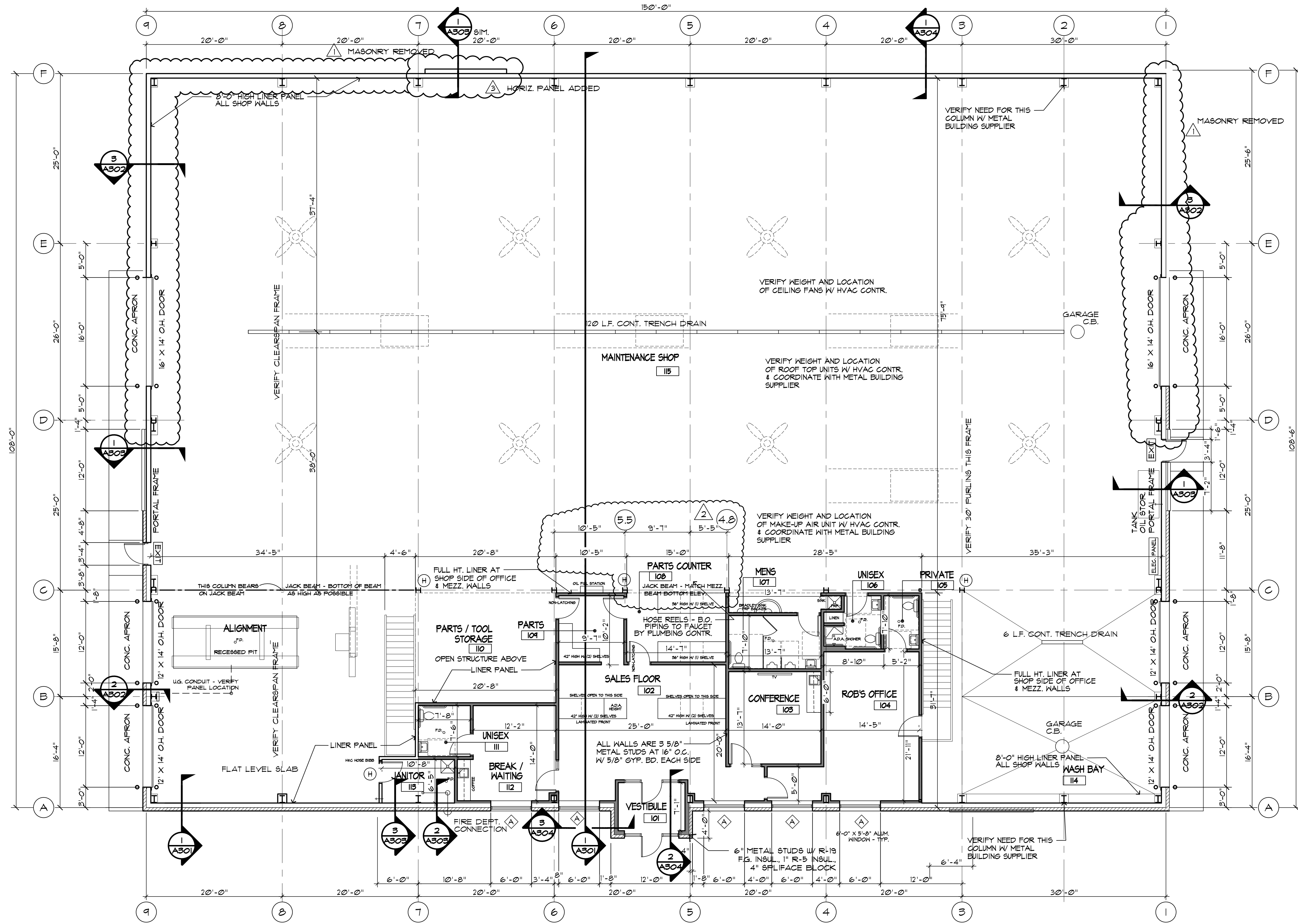
No.	Date	Description

Page Information

Drawn By: EAF
 Approved By: JJW
 Project No.: 21-2317
 Date: 5/19/21
 Sheet No.:

C102

NEW BUILDING FOR:
LOT #10-11
 ALLEGIANCE COURT, LITTLE CHUTE, WI
FUTURE SITE PLAN



FIRST FLOOR PLAN
 1/8" = 1'-0"
 NORTH ↑
 1 PLAN FLIPPED MIRROR IMAGE

PRELIMINARY - NOT FOR CONSTRUCTION

No.	Date	Description
1	5-13-21	PLAN REVISIONS
2	5-27-21	PLAN REVISIONS
3	6-18-21	PLAN REVISIONS

Page Information

Drawn By: EAF
 Approved By: JJW

Project No.: 21-2317
 Date: 3/17/21

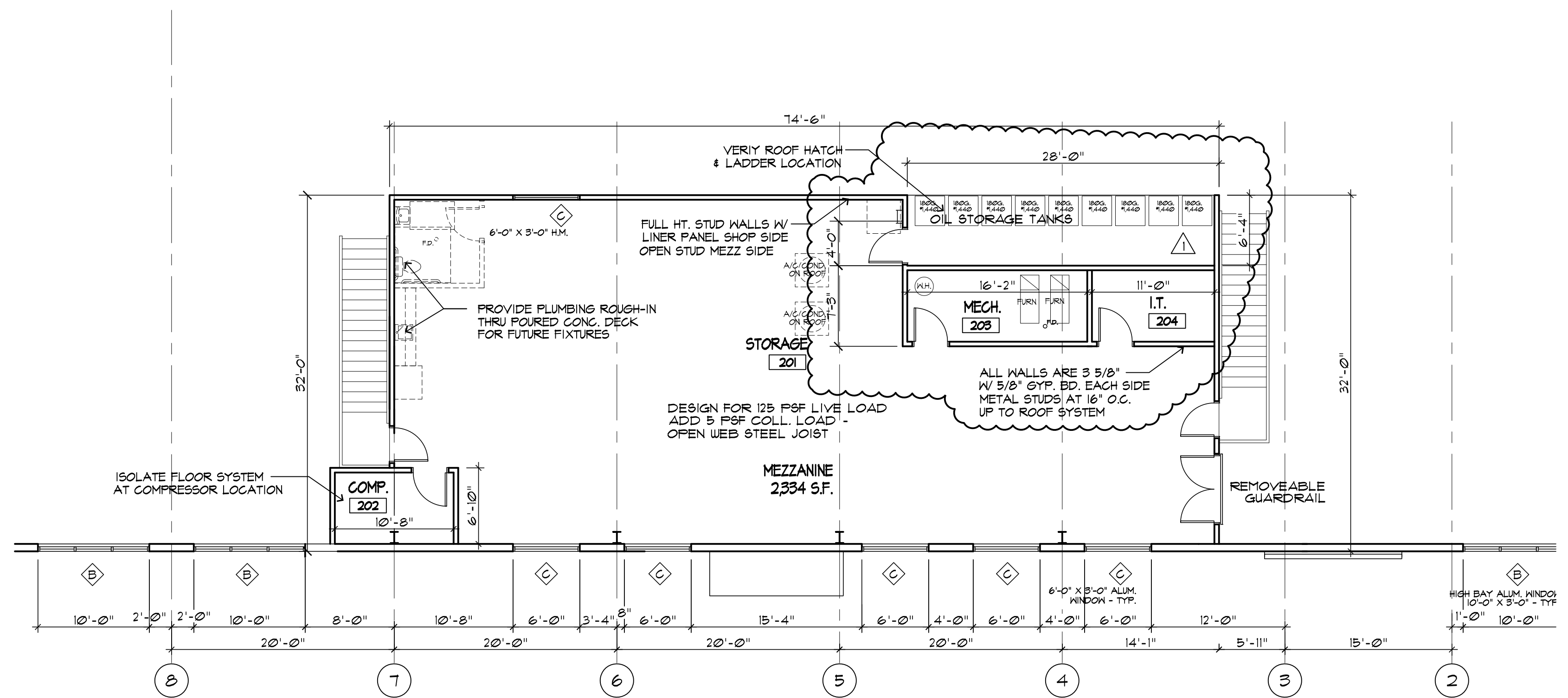
Sheet No.

A101

NEW BUILDING FOR:
LOT #10-11
 ALLEGIANCE COURT, LITTLE CHUTE, WI
FIRST FLOOR PLAN



PHONE: 920.757.0999
 N1040 CRAFTSMEN DRIVE
 GREENVILLE, WI 54942
 FAX: 920.757.1015

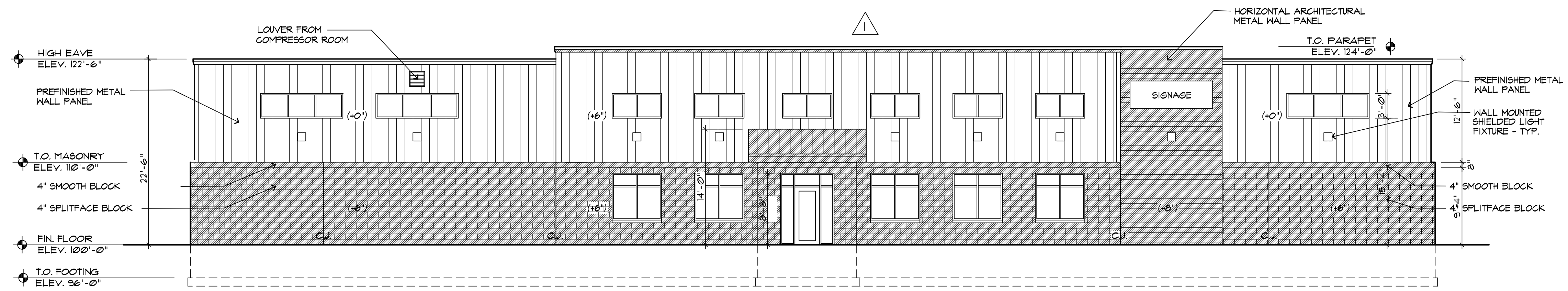


MEZZANINE FLOOR PLAN
 1/8" = 1'-0"
 NORTH
 PLAN FLIPPED MIRROR IMAGE

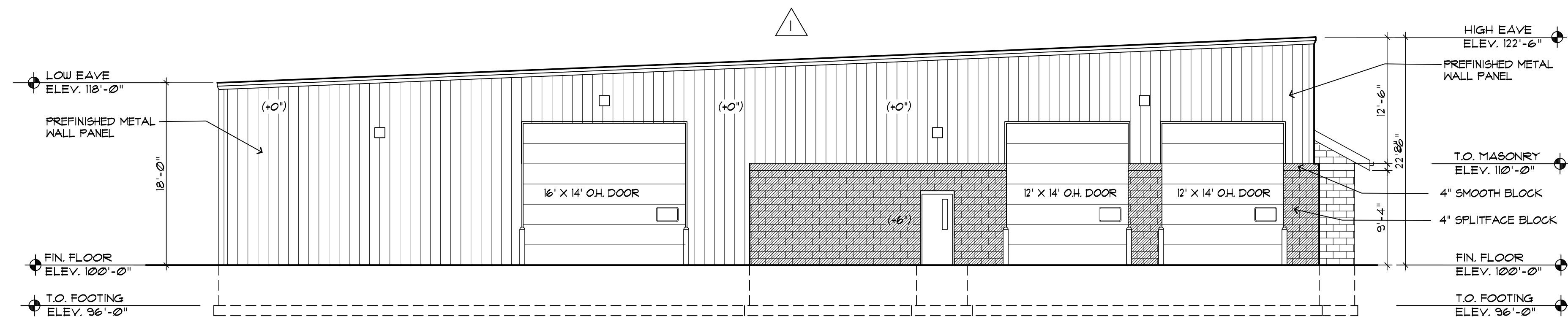
No.	Date	Description
1	5-13-21	PLAN REVISIONS

Page Information

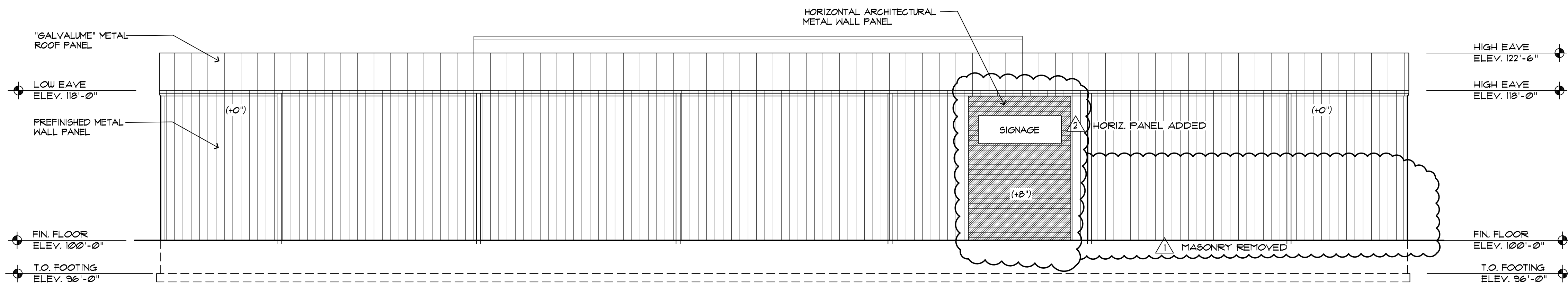
Drawn By EAF Approved By JJW
 Project No. 21-2317 Date 3/17/21
 Sheet No.



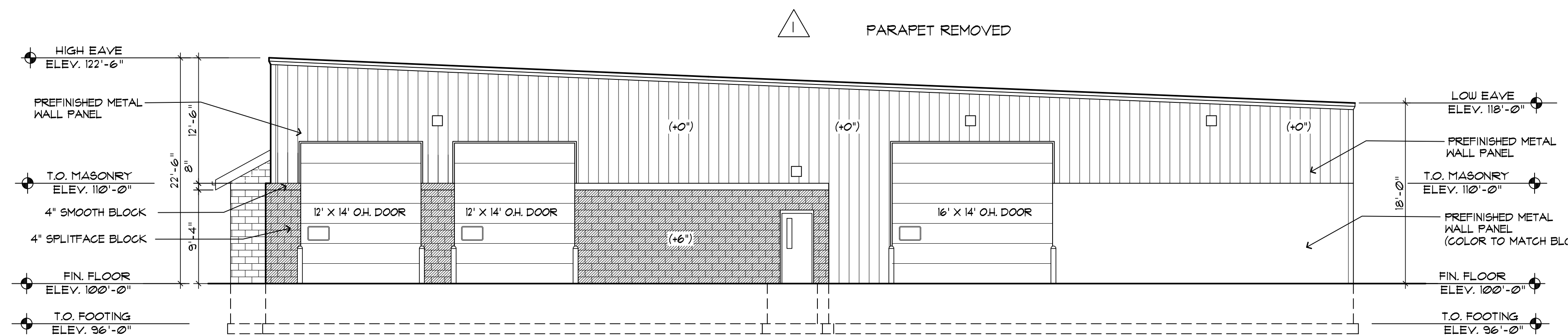
SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

PLAN FLIPPED MIRROR IMAGE

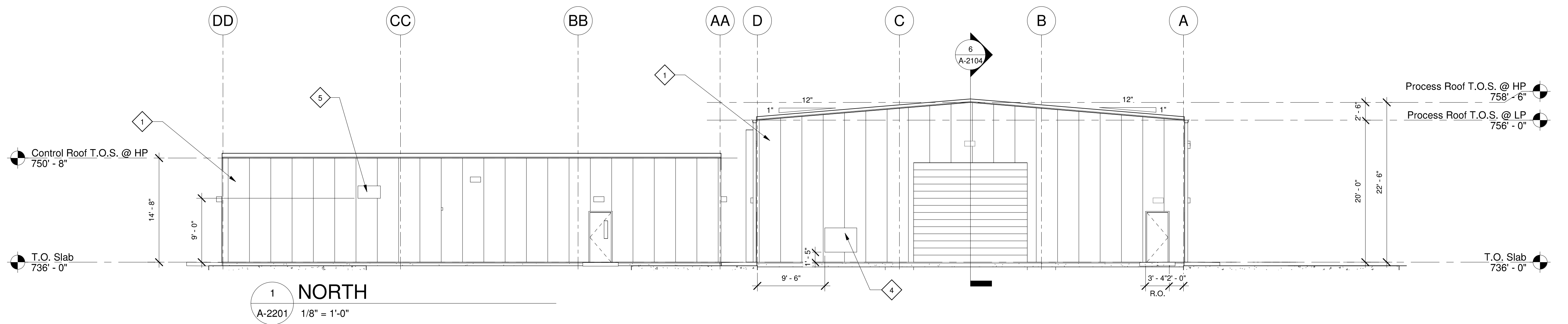
No.	Date	Description
1	5-13-21	PLAN REVISIONS
2	6-18-21	PLAN REVISIONS

Page Information

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Approved By: JJW

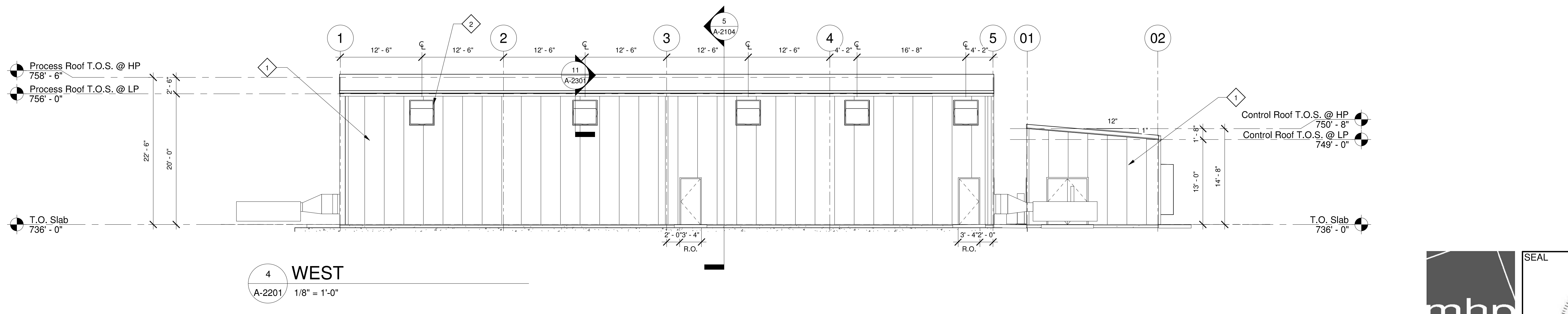
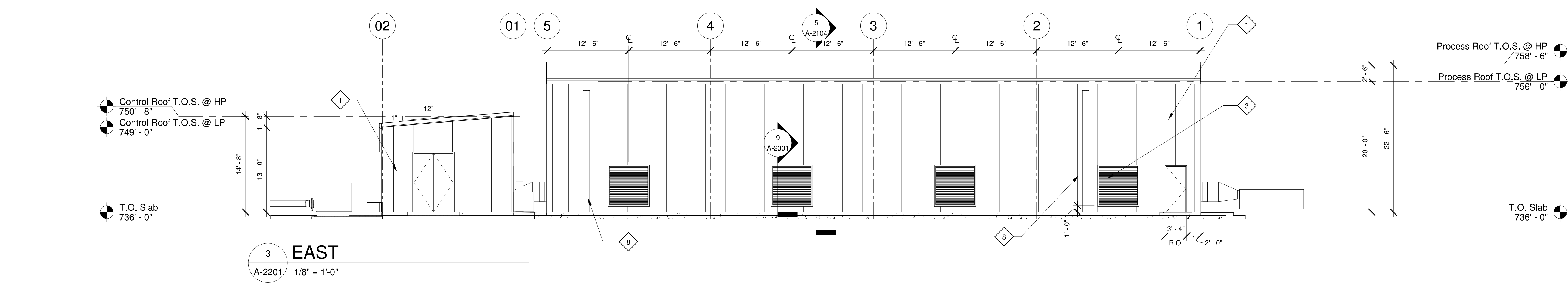
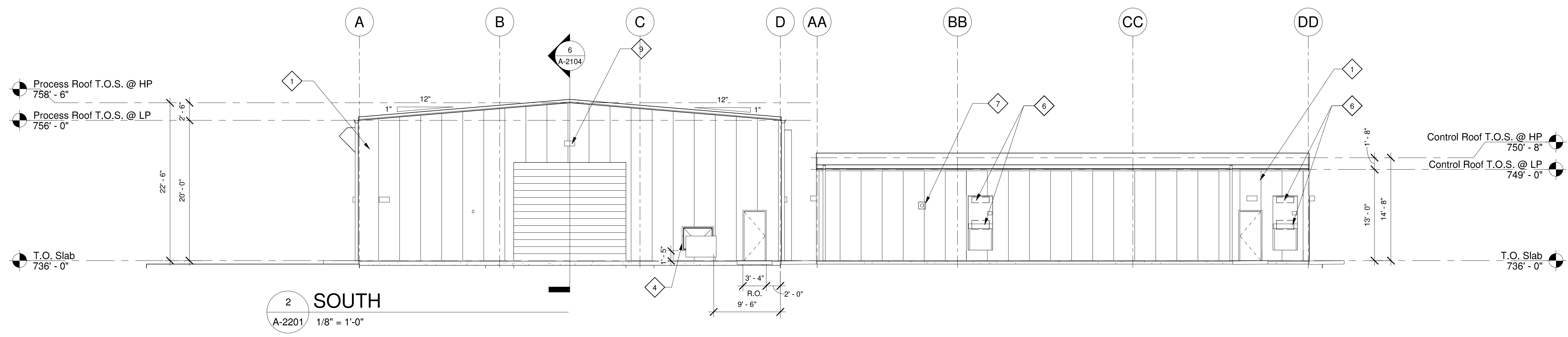
Project No.: 21-2317
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Sheet No.



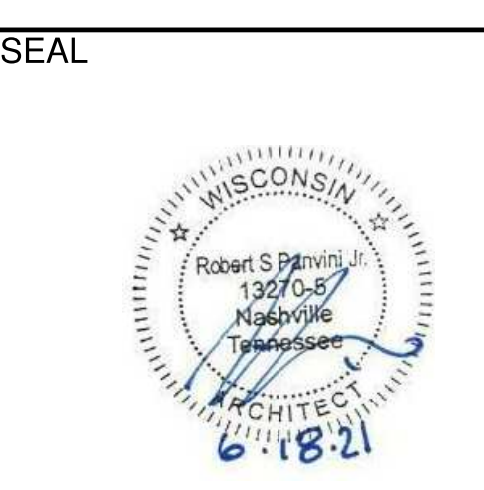
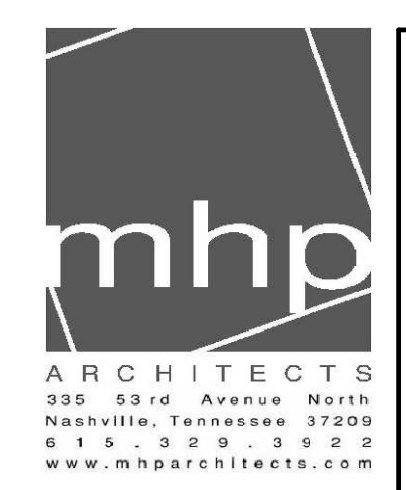
ELEVATION KEYNOTES:

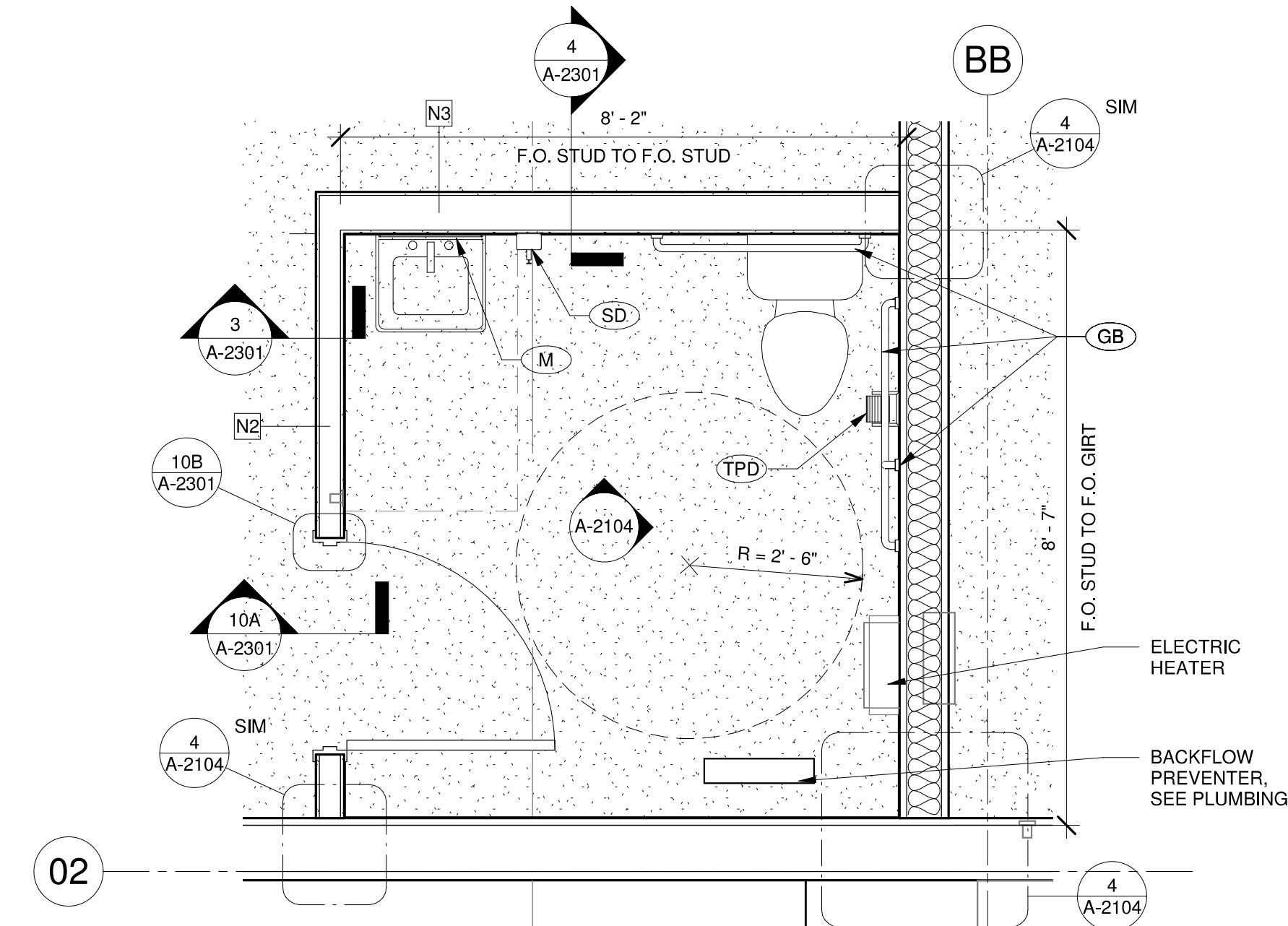
- 1 WALL SHEETING BY METAL BUILDING MANUFACTURER - SEE SHOP DRAWINGS.
- 2 45.75" x 45.75" FAN OPENING, TOP OF OPENING 1'-0" BELOW STEEL, TYP. - SEE MECH. DRAWINGS.
- 3 73" x 73" LOUVER OPENING, 1'-0" MIN. A.F.F., TYP. - SEE MECH. DRAWINGS.
- 4 54" x 41" HVAC OPENING, 1'-5" A.F.F. - SEE MECH. DRAWINGS.
- 5 1'-9"W x 3'-2"H CABLE TRAY OPENING.
- 6 MECH. UNIT OPENINGS - SEE MECH. DRAWINGS.
- 7 EXHAUST VENT WALL CAP.
- 8 VENT TO ATMOSPHERE - SEE PLUMBING DRAWINGS.
- 9 EXTERIOR LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS.



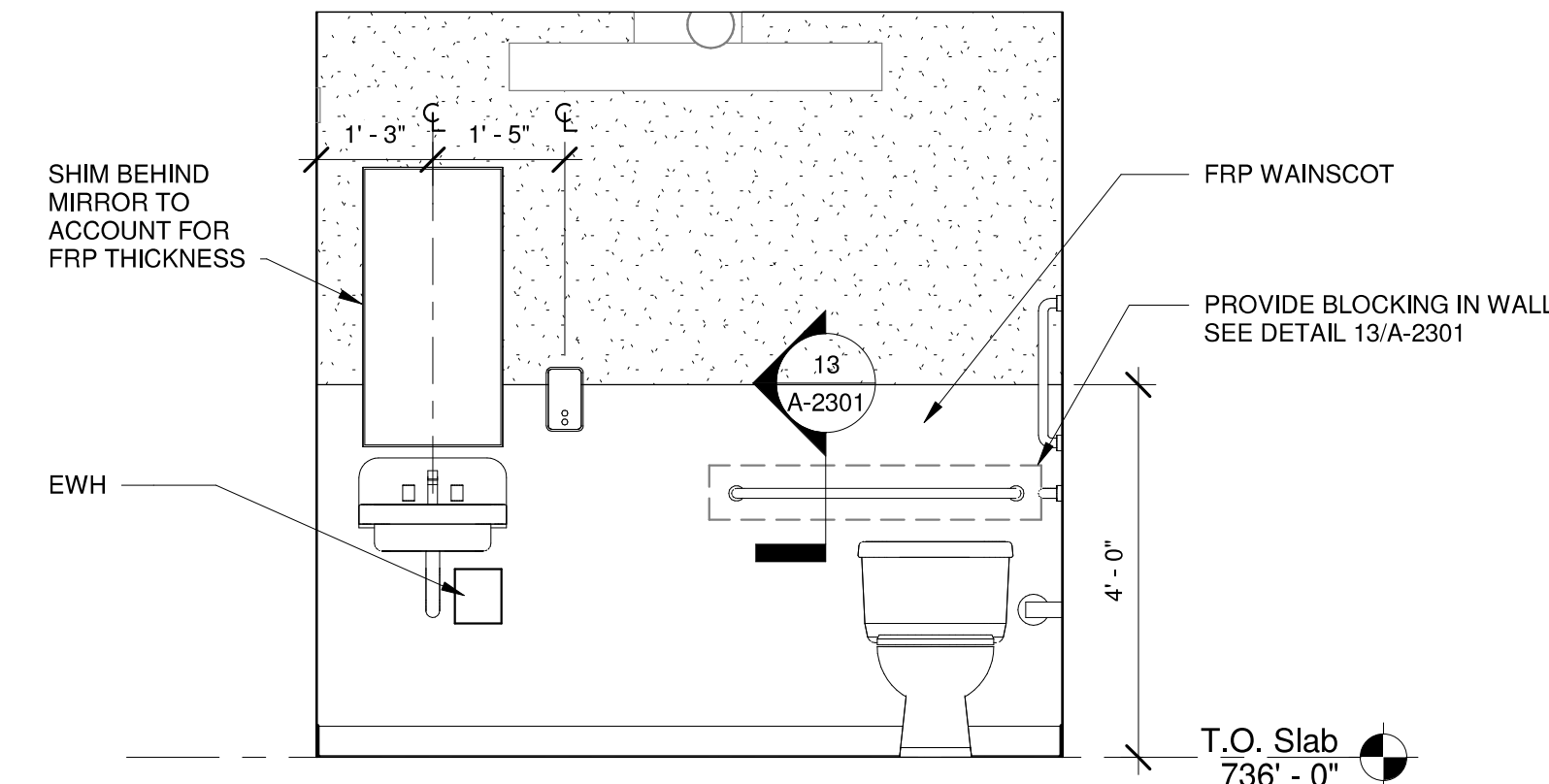
BUILDING ELEVATIONS		
OUTAGAMIE LANDFILL RENEWABLE NATURAL GAS FACILITY		
I.C. THOMASSON ASSOCIATES, INC. CONSULTING ENGINEERS NASHVILLE, TN. (615) 346-3400		
DRAWN BY ALVH	JOB No. 200479	SCALE 1/8" = 1'-0"
CHECKED BY RSP	ISSUE DATE 06/18/21	SHEET No. A-2201
FILENAME	PLOT DATE	

DATE --	DATE --	DATE --	DATE 06/18/21	DATE 05/14/21
BY --	BY --	BY --	BY RSP	BY RSP
			ISSUED FOR PERMIT	30% SUBMISSION

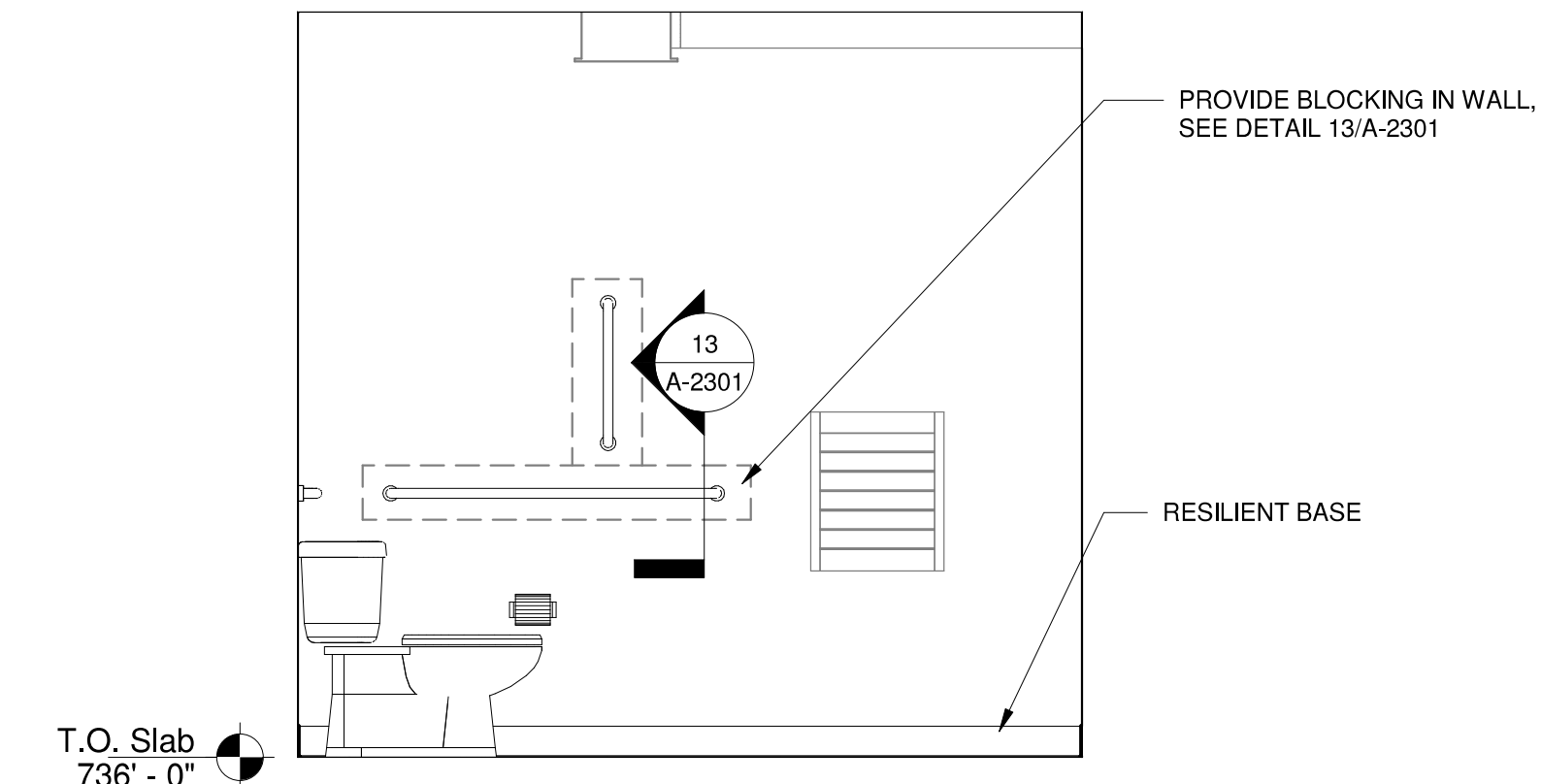




1 ENLARGED PLAN - TLT. 103
A-2104 1/2" = 1'-0"



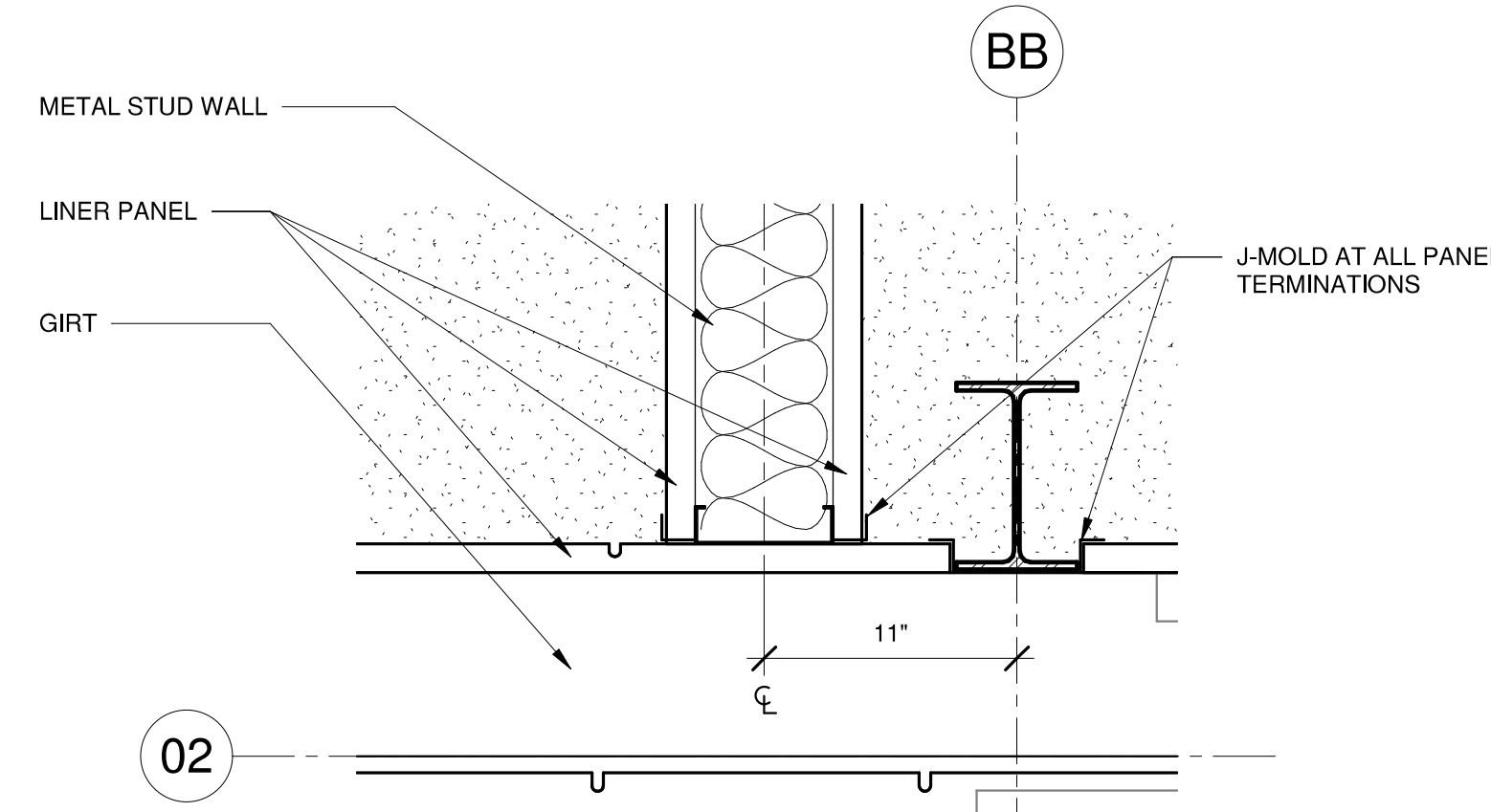
2 ELEVATION LOOKING NORTH
A-2104 1/2" = 1'-0"



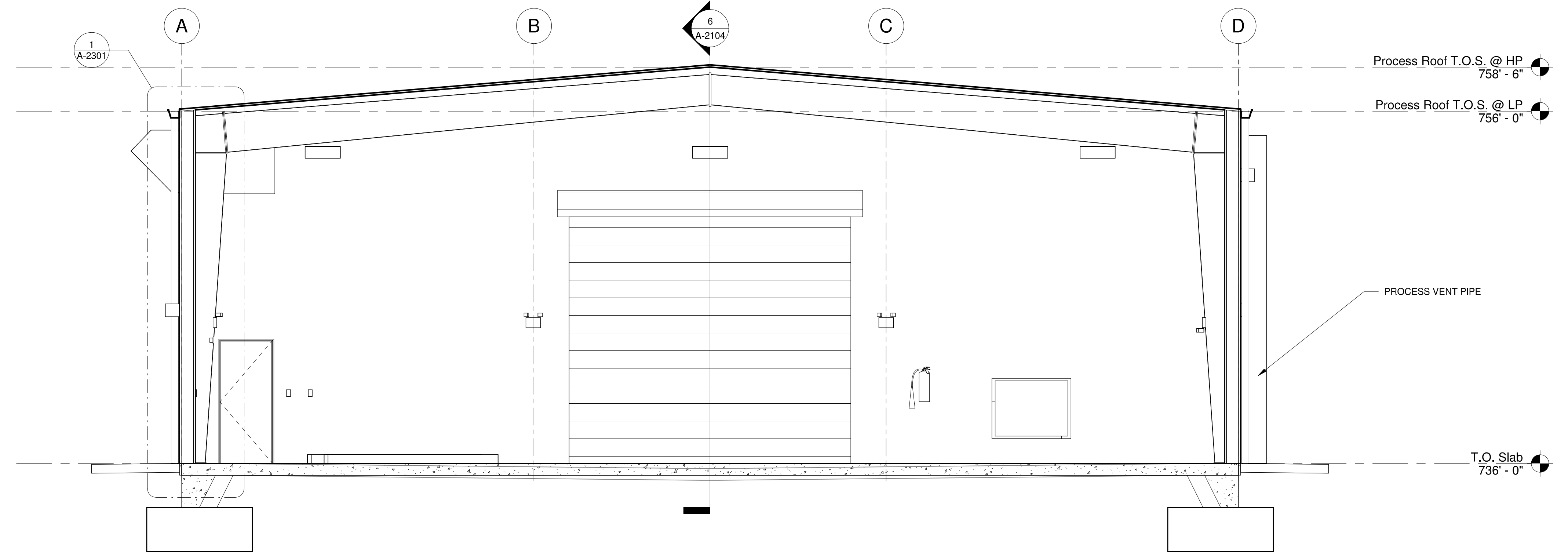
3 ELEVATION LOOKING EAST
A-2104 1/2" = 1'-0"

RESTROOM ACCESSORY LEGEND:

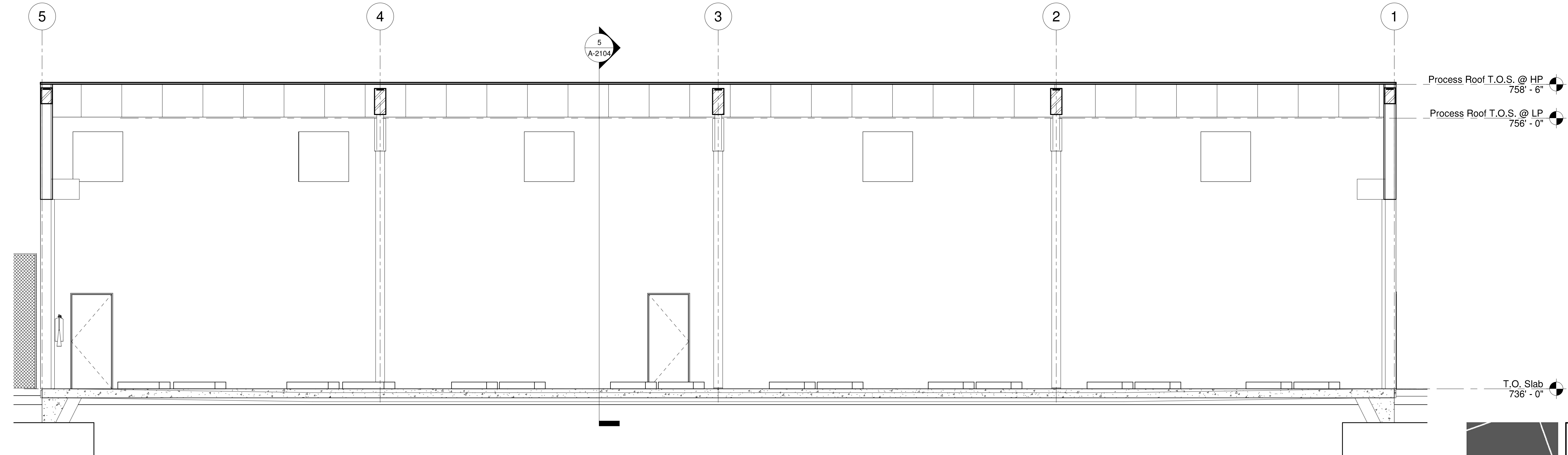
- GB GRAB BAR:
1-1/2" DIA. GRAB BARS - 18" LONG, 36" LONG, 42" LONG
- M 18"x36" MIRROR
- TPD TOILET PAPER DISPENSER
- SD WALL MTD. SOAP DISPENSER



4 DETAIL STUD WALL TERMINATION AT LINER PANEL
A-2104 1 1/2" = 1'-0"



5 SECTION PROCESS BUILDING 1
A-2104 1/4" = 1'-0"



6 SECTION PROCESS BUILDING 2
A-2104 1/4" = 1'-0"

ENLARGED PLANS & INT. ELEVATIONS

**OUTAGAMIE LANDFILL
RENEWABLE NATURAL GAS FACILITY**

APPLETON WISCONSIN

ICT I.C. THOMASSON ASSOCIATES, INC.
CONSULTING ENGINEERS
NASHVILLE, TN. (615) 346-3400

DRAWN BY	ALVH	JOB No.	200479	SCALE	As indicated
CHECKED BY	RSP	ISSUE DATE	06/18/21	SHEET No.	A-2104
FILENAME		PLOT DATE			



SEAL



DATE	--	DATE	--	DATE	--	DATE	06/18/21	DATE	05/14/21	DATE	05/14/21
BY	--	BY	--	BY	--	BY	RSP	BY	RSP	BY	RSP
							ISSUED FOR PERMIT		30% SUBMISSION		

SEQUENCE OF CONSTRUCTION

THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SEQUENCE AND SCHEDULE OF MAJOR LAND DISTURBING ACTIVITIES:

- A. POST PERMITS AT SITE. NOTIFY VILLAGE OF LITTLE CHUTE AND ENGINEER AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
- B. INSTALL INLET PROTECTION AND SILT FENCE BEFORE BEGINNING ANY LAND DISTURBING CONSTRUCTION ACTIVITIES. INSTALL TRACK-OUT CONTROL PRACTICE, IF NEEDED. IF TRACK-OUT CONTROL PRACTICE DOES NOT REMOVE SEDIMENT FROM VEHICLE TIRES, THEN TIRES SHALL BE WASHED. STREET SWEEPING SHALL BE PERFORMED ON A DAILY BASIS OR AS NEEDED.
- C. SAW CUT AND REMOVE PAVEMENT AS NEEDED FOR UTILITY REPLACEMENT. INSTALL PROPOSED UTILITIES (SANITARY SEWER, STORM SEWER, AND WATER LINE). INSTALL INLET PROTECTION FOR NEW STORM INLETS IMMEDIATELY AFTER THE STORM INLET IS INSTALLED. DE-WATER TRENCHES AS NEEDED. EXCESS EXCAVATED MATERIAL SHALL BE LOADED ON TRUCKS AND HAULED TO AN OFFSITE LOCATION SELECTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERMITS AND BEST MANAGEMENT PRACTICES AT THE OFFSITE LOCATION. TEMPORARILY STABILIZE DISTURBED AREAS LOCATED IN EXISTING PAVEMENT AREAS WITH A GRAVEL/PAVEMENT SURFACE, SUCH THAT NO MORE THAN 200 LINEAR FEET OF UTILITY TRENCH LENGTH IN EXISTING PAVEMENT AREAS IS EXPOSED SOIL AT THE END OF EACH DAY.
- D. INSTALL AGGREGATE SURFACING, CONCRETE AND ASPHALT PAVEMENTS. PLACE TOPSOIL IN LAWN AREAS. STABILIZE LAWN AREAS WITHIN 14 DAYS OF TOPSOIL PLACEMENT. RESTORE LAWN AREAS WITH TOPSOIL, LAWN SEED, FERTILIZER AND MULCH.

UTILITY NOTES

- 1. SANITARY SEWER AND WATER SERVICES/MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND VILLAGE OF LITTLE CHUTE REQUIREMENTS.
- 2. ALL SANITARY SEWER AND WATER SERVICES/MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
- 3. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER AND WATER SERVICE/MAINS.

MATCH LINE
TEST HYDRANT 1
(SEE INSET VIEW, THIS DRAWING)

TRANSFER STATION

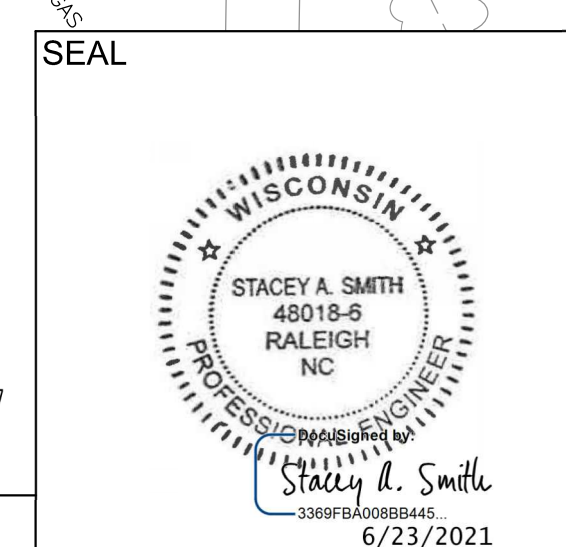
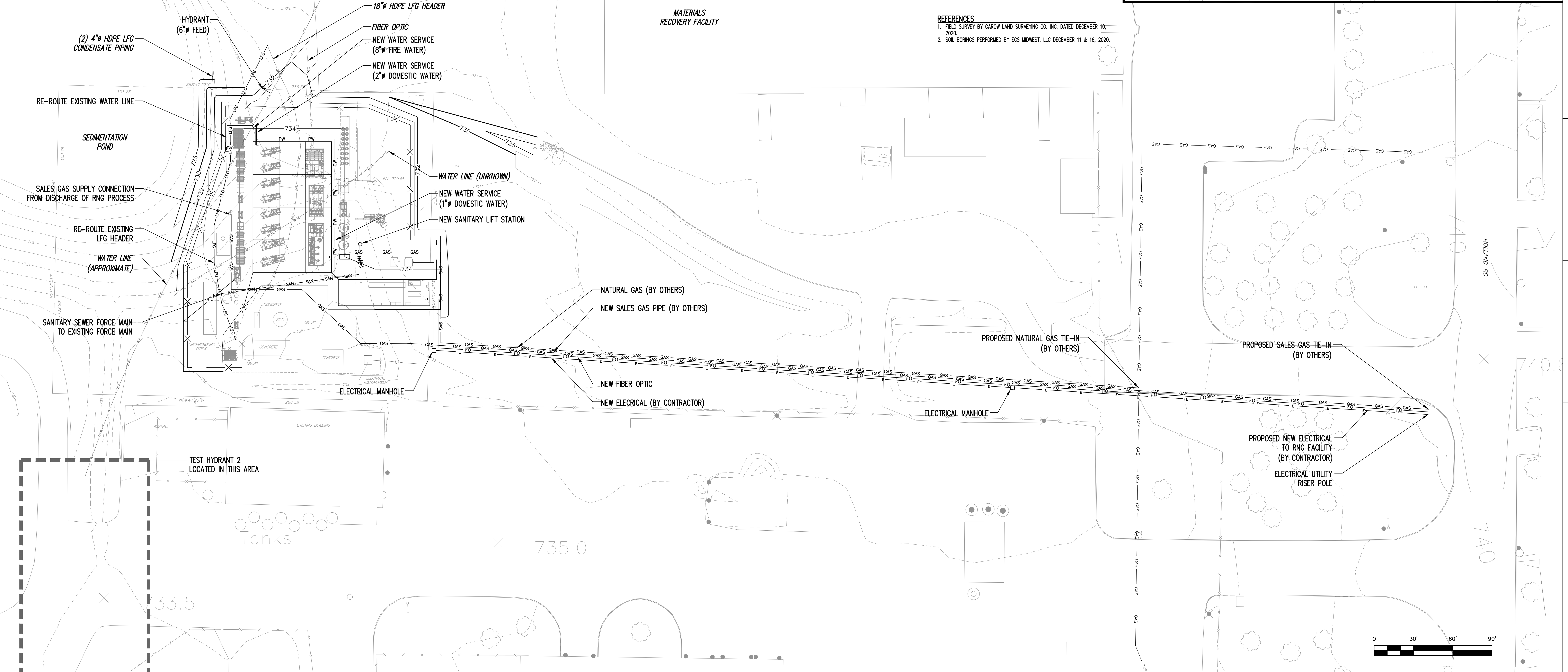
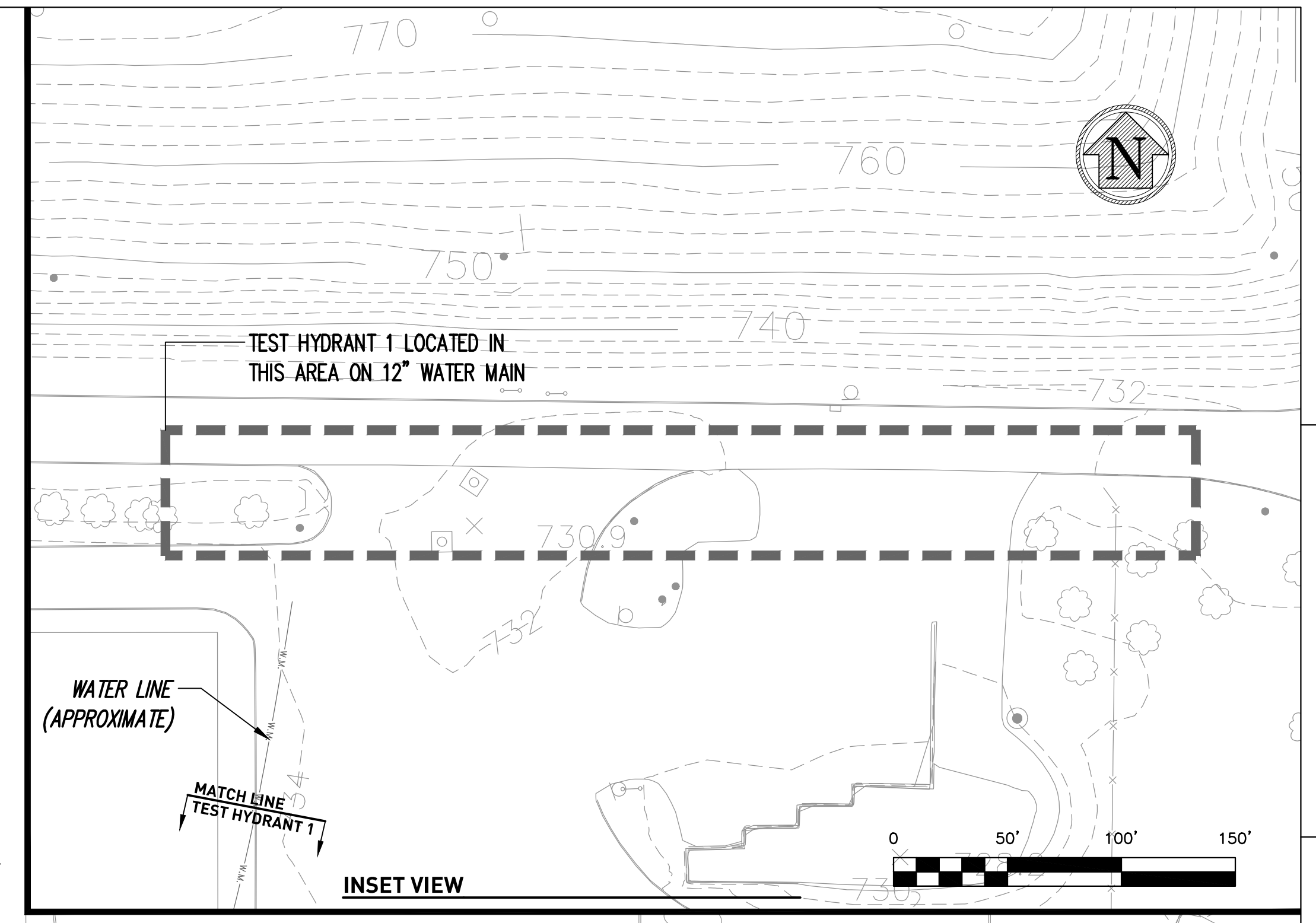
- LEGEND**
- EXISTING 10' CONTOUR (SEE REFERENCE 1)
 - EXISTING 2' CONTOUR
 - LEASE BOUNDARY
 - GAS EXISTING LFG HEADER
 - C EXISTING LFG CONDENSATE
 - W.M. EXISTING WATER LINE
 - FO EXISTING FIBER OPTIC
 - UE EXISTING UNDERGROUND ELECTRIC
 - ? APPROXIMATE EXTENSION OF MARKED UTILITIES
 - 12" CMP EXISTING 12" CMP
 - 730 PROPOSED 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - LFG LFG LANDFILL GAS HEADER
 - GAS SALES GAS PIPE
 - FO FIBER OPTIC
 - SAN SAN SEWER LINE
 - E UNDERGROUND ELECTRIC (BY CONTRACTOR)
 - FH HYDRANT

NOTES

- 1. EXISTING UTILITIES ARE SHOWN AS LOCATED BY EXCEL UNDERGROUND, LLC. UTILITIES ARE APPROXIMATE WHERE NOTED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONTINUED WORK.
- 2. SOILS: THE NATIVE SURFICIAL SOILS WITHIN THE LIMITS OF DISTURBANCE FALL UNDER THE CATEGORY OF WISCONSINE SILTY CLAY LOAM ACCORDING TO THE USDA NRCS SOIL SURVEY.

REFERENCES

- 1. FIELD SURVEY BY CAROW LAND SURVEYING CO. INC. DATED DECEMBER 10, 2020.
- 2. SOIL BORINGS PERFORMED BY ECS MIDWEST, LLC DECEMBER 11 & 16, 2020.



SITE UTILITY PLAN (SHEET 2 OF 2)

OUTAGAMIE LANDFILL RENEWABLE NATURAL GAS FACILITY

mas Energy WISCONSIN CROWDER

APPLETON I.C. THOMASSON ASSOCIATES, INC. CONSULTING ENGINEERS NASHVILLE, TN. (615) 346-3400

DRAWN BY C.T.J.	JOB No. 200479	SCALE AS SHOWN
CHECKED BY P.K.S.	ISSUE DATE 06/18/21	SHEET No. C-2104
FILENAME MASRNG-E0006	PLOT DATE 06-23-21	

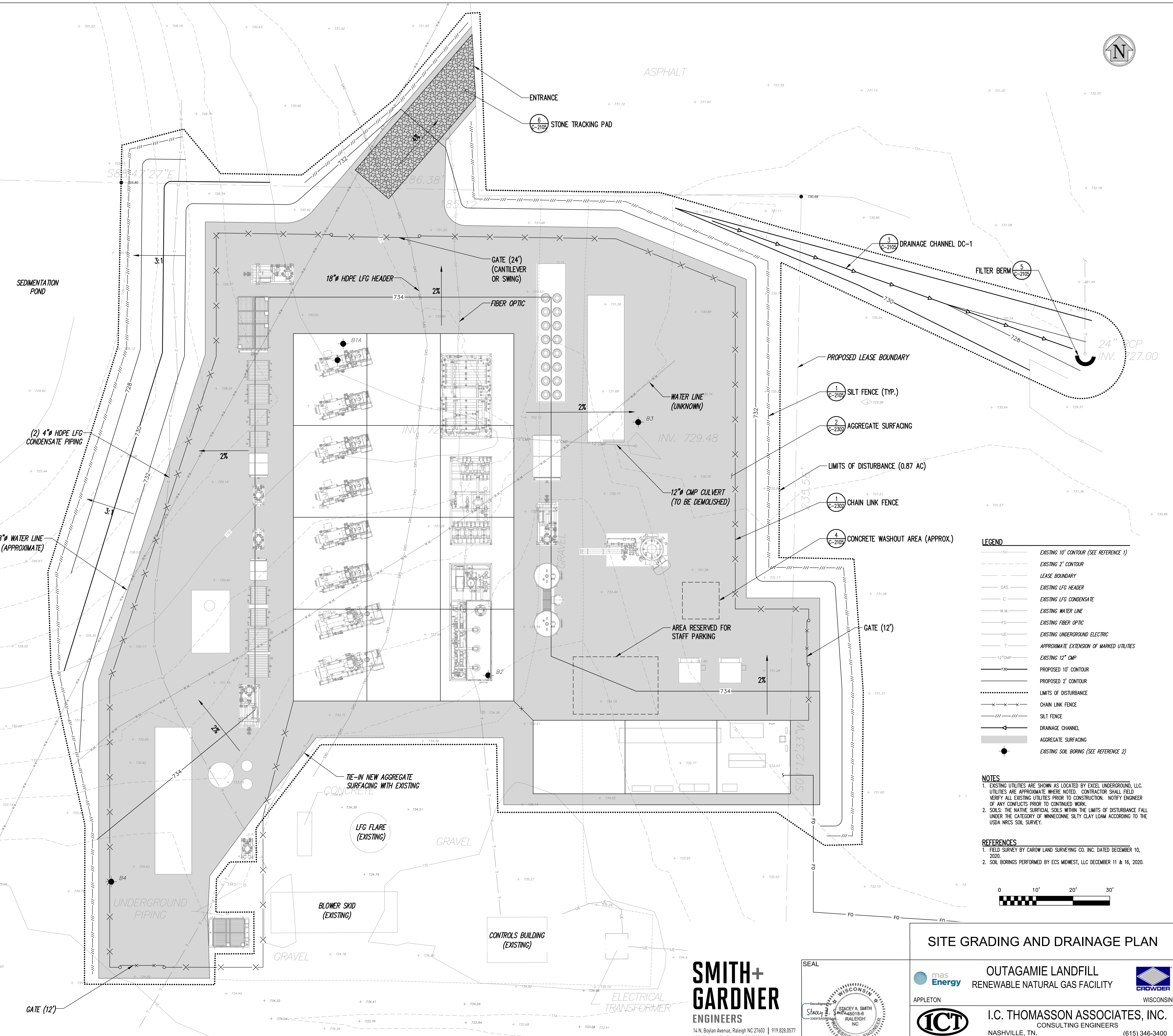
DATE BY 8	DATE BY 7	DATE BY 6	DATE 06/18/21 BY P.K.S. 5	ISSUED FOR PERMIT 4	DATE 05/14/21 BY P.K.S. 3	30% SUBMISSION 2	1
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SEQUENCE OF CONSTRUCTION

1. THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SEQUENCE AND SCHEDULE OF MAJOR LAND DISTURBING ACTIVITIES:
- A. POST PERMITS AT SITE. NOTIFY VILLAGE OF LITTLE CHUTE AND ENGINEER AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
- B. INSTALL INLET PROTECTION AND SILT FENCE BEFORE BEGINNING ANY LAND DISTURBING CONSTRUCTION ACTIVITIES. INSTALL TRACK-OUT CONTROL PRACTICE, IF NEEDED. IF TRACK-OUT CONTROL PRACTICE DOES NOT REMOVE SEDIMENT FROM VEHICLE TIRES, THEN TIRES SHALL BE WASHED. STREET SWEEPING SHALL BE PERFORMED ON A DAILY BASIS OR AS NEEDED.
- C. SAW CUT AND REMOVE PAVEMENT AS NEEDED FOR UTILITY REPLACEMENT. INSTALL PROPOSED UTILITIES (SANITARY SEWER, STORM SEWER, AND WATER LINE). INSTALL INLET PROTECTION FOR NEW STORM INLETS IMMEDIATELY AFTER THE STORM INLET IS INSTALLED. DE-WATER TRENCHES AS NEEDED. EXCESS EXCAVATED MATERIAL SHALL BE LOADED ON TRUCKS AND HAULED TO AN OFFSITE LOCATION SELECTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERMITS AND BEST MANAGEMENT PRACTICES AT THE OFFSITE LOCATION. TEMPORARILY STABILIZE DISTURBED AREAS LOCATED IN EXISTING PAVEMENT AREAS WITH A GRAVEL/PAVEMENT SURFACE, SUCH THAT NO MORE THAN 200 LINEAR FEET OF UTILITY TRENCH LENGTH IN EXISTING PAVEMENT AREAS IS EXPOSED SOIL AT THE END OF EACH DAY.
- D. INSTALL AGGREGATE SURFACING, CONCRETE AND ASPHALT PAVEMENTS. PLACE TOPSOIL IN LAWN AREAS. STABILIZE LAWN AREAS WITHIN 14 DAYS OF TOPSOIL PLACEMENT. RESTORE LAWN AREAS WITH TOPSOIL, LAWN SEED, FERTILIZER AND MULCH.

EROSION AND SEDIMENT CONTROL NOTES

1. POST CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH THE PERMITTING AGENCY.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE PERMITTING AGENCY AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS). MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE. MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
8. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES.
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. INSTALL AND MAINTAIN SILT FENCING PER WNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
12. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WNR TECHNICAL STANDARD DITCH CHECKS #1062.
13. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WNR TECHNICAL STANDARD INTERM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
14. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
15. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15, STABILIZE WITH MULCH, TACKLER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL GRASS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER. STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE. FOLLOW WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION SECTION 630, SEEDING.
16. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
17. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
18. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
20. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WSDOT'S PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WNR TECHNICAL STANDARD CHANNEL EROSION MAT #1055.
21. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
22. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006: <https://www.epa.gov/epaosps/pubs/concretewashout.pdf>. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.



LEGEND

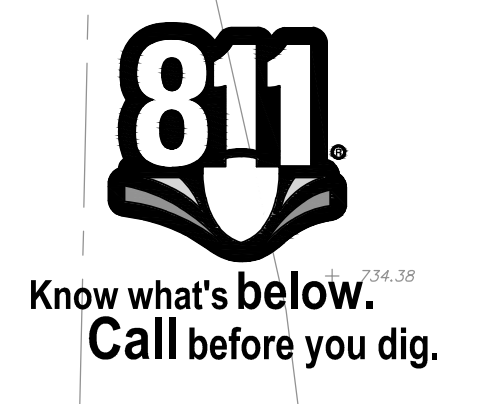
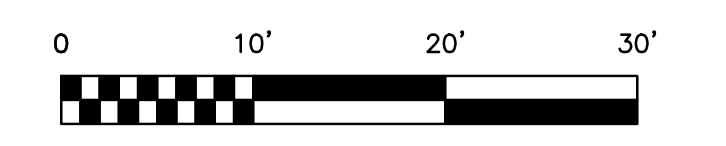
---	EXISTING 10' CONTOUR (SEE REFERENCE 1)
---	EXISTING 2' CONTOUR
---	LEASE BOUNDARY
---	GAS
---	EXISTING LFG HEADER
---	EXISTING LFG CONDENSATE
---	EXISTING WATER LINE
---	EXISTING FIBER OPTIC
---	EXISTING UNDERGROUND ELECTRIC
---	APPROXIMATE EXTENSION OF MARKED UTILITIES
---	EXISTING 12\"/>

NOTES

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2. SOILS: THE NATIVE SURFICIAL SOILS WITHIN THE LIMITS OF DISTURBANCE FALL UNDER THE CATEGORY OF WINNECONNE SILTY CLAY LOAM ACCORDING TO THE USDA NRCS SOIL SURVEY.

REFERENCES

1. FIELD SURVEY BY CAROW LAND SURVEYING CO. INC. DATED DECEMBER 10, 2020.
2. SOIL BORINGS PERFORMED BY EOS MIDWEST, LLC DECEMBER 11 & 16, 2020.



SMITH+GARDNER ENGINEERS
 14 N. Boylan Avenue, Raleigh NC 27603 | 919.828.0577
 1526 Richland St., Columbia SC 29201

SEAL
 STACEY A. SMITH
 PROFESSIONAL ENGINEER
 6/18/2021

SITE GRADING AND DRAINAGE PLAN

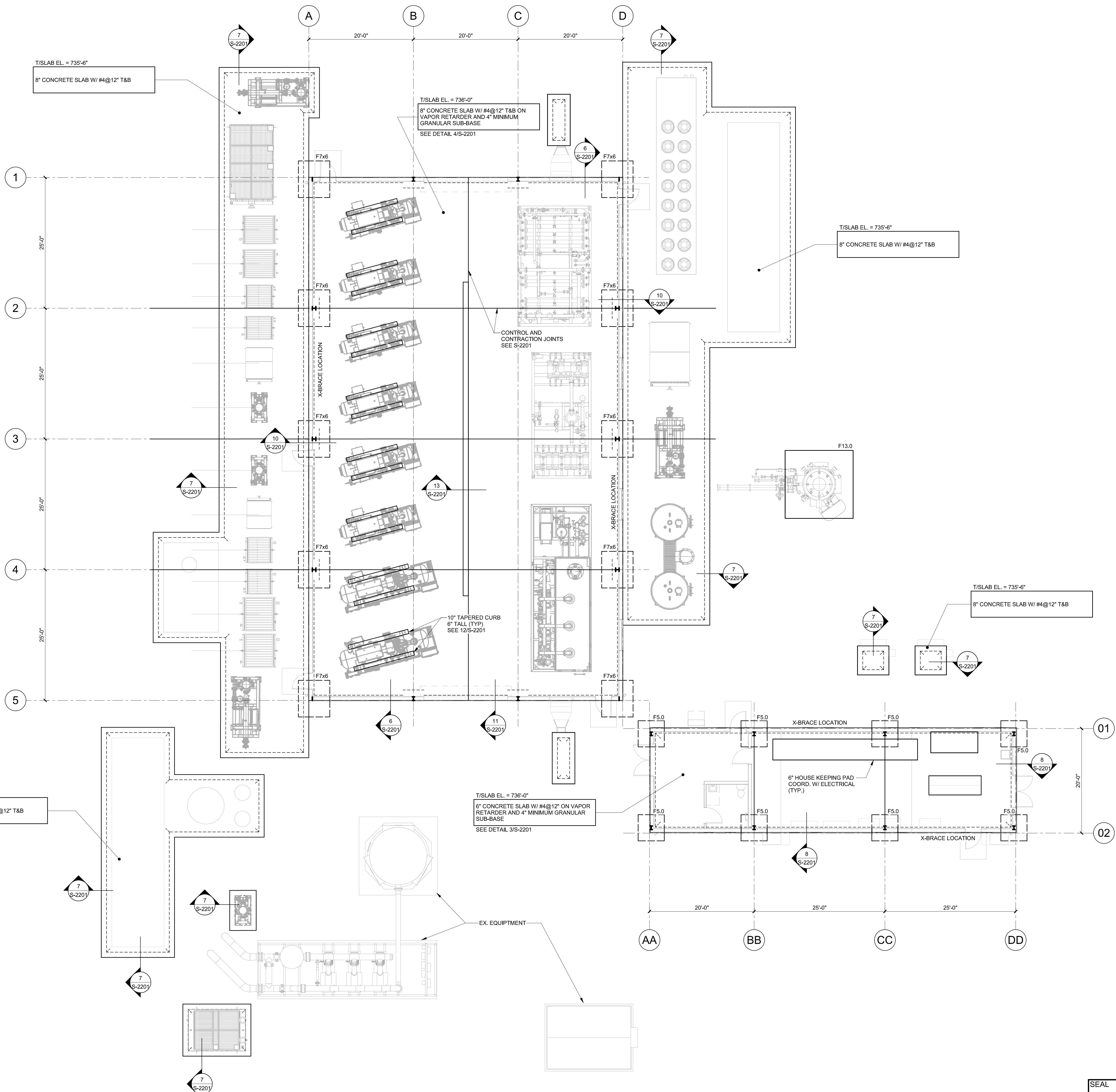
OUTAGAMIE LANDFILL RENEWABLE NATURAL GAS FACILITY

APPLETON WISCONSIN

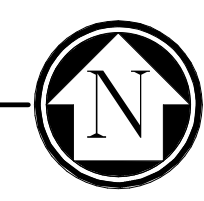
ICT I.C. THOMASSON ASSOCIATES, INC.
 CONSULTING ENGINEERS
 NASHVILLE, TN. (615) 346-3400

DRAWN BY: C.T.J.	JOB No.: 200479	SCALE: AS SHOWN
CHECKED BY: P.K.S.	ISSUE DATE: 06/18/21	SHEET No.: C-2102
FILENAME: MASRNG-E0006	PLOT DATE: 07-02-21	

DATE BY: 8	DATE BY: 7	DATE BY: 6	DATE BY: 5	DATE BY: 4	DATE BY: 3	DATE BY: 2	DATE BY: 1
			DATE 06/18/21 BY P.K.S.	ISSUED FOR PERMIT	DATE 05/14/21 BY P.K.S.	30% SUBMISSION	



FOUNDATION PLAN



0' 4'-0" 8'-0" 16'-0"

1966 Structural Engineers
 750 Old Hickory Blvd.
 Building 1, Suite 175
 Brentwood, TN 37027
 www.sdil.com
 615 330 1733
 Project No. 21042

FOUNDATION PLAN

OUTAGAMIE LANDFILL
 RENEWABLE NATURAL GAS FACILITY



APPLETON



I.C. THOMASSON ASSOCIATES, INC.
 CONSULTING ENGINEERS
 NASHVILLE, TN (615) 346-3400



DATE -- BY --	DATE -- BY --	DATE -- BY --	DATE 06/18/21 BY JR	ISSUED FOR PERMIT	DATE 05/14/21 BY JR	30% SUBMISSION	SCALE 1/8" = 1'-0"	SHEET No. S-2101
8	7	6	5	4	3	2	1	

Village of Little Chute
REQUEST FOR PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Pine Street Pedestrian Mall

PREPARED BY: David Kittel, Community Development Director

REPORT DATE: 7/8/2021

ADMINISTRATOR'S REVIEW/COMMENTS:

EXPLANATION:

For a Pedestrian Mall to be created an ordinance must be enacted. Per Wisconsin state statute 66.298 a pedestrian mall must be referred to the plan commission, and a public hearing must be held on the matter with publication of a Class 1 notice on the hearing. After a recommendation from the Plan Commission and holding a public hearing the Village Board may by ordinance designate a Pedestrian mall. The proposed ordinance for the Pine Street Pedestrian Mall is below:

Sec 26-103 PINE STREET PEDESTRIAN MALL

- (1) A Pedestrian Mall is hereby created in the following designated area:
 - (a) That portion of Pine Street lying between Main Street and a line parallel to and 150 feet south of the southerly edge of Main Street at the intersection therewith.
- (2) The aforesaid designated area shall be closed to all vehicular traffic except bicycles walked by the operator, authorized Village maintenance vehicles and authorized emergency vehicles.

RECOMMENDATION: To recommend approval of the ordinance creating a Pedestrian Mall.

Village of Little Chute Application for CONDITIONAL USE UNDER CHAPTER 44 ZONING CODE

Application fee \$125.00

Date filed 7/1/2021

The undersigned owner(s) of the property herein described hereby petition for a Conditional Use under the Village of Little Chute Zoning Ordinance Chapter 44, in the Village of Little Chute, Outagamie County, Wisconsin

Property location: Lot's #10 and 11 in the HJT Northside/310 Allegiance Ct

Legal Description: _____

HJT BUSINESS PARK - NORTH LOT'S 10 & 11 "PLEASE SEE ATTACHED CSM"

Current Zoning Classification: CH- Commercial Highway

Petitioner(s) request permission be granted for the following conditional use(s): _____

Automobile Repair and Service

Petitioner(s) reason(s) for requesting the above described conditional use are as follows: _____

The proposed automobile repair facility will complement the other businesses in HJT Business Park. This establishment will not have any adverse impact on the surrounding community. It has been in operation for nearly 13 years @ 415 Draper St, Kaukauna WI. We have been a model business and give back to the community through financial contributions, helping others in need, and any other way we can. Our operation is clean, high tech, and we have an outstanding reputation in the community. We are not in direct competition with any of the neighboring businesses. Our plan to expand will bring high end clientele into the Little Chute area. Our long-term plans are to service approximately 100 cars per week. This will make very little impact to any road/traffic issues as compared to surrounding businesses (Fed Ex will have a much larger impact on traffic). Our operation is Monday through Friday, 8-5. This limits noise, traffic, etc at night. Currently we support 10 employees, and foresee this number increasing to 15-16 in the next few years.

Attach Surveys, building plans, drainage plans, site plans, statements of days & hours of operation, estimates of additional traffic generated, statements regarding effect on neighboring properties and any other additional information which may assist in determining that the proposed use is appropriate that such use is not hazardous, harmful, offensive or adverse to the environment or the value of the neighborhood or the community.

Owner(s) Name(s) RJ Newhouse Holdings, LLC

Owner(s) Address 415 Draper St Kaukauna WI 54130

Phone Numbers 920-766-4000 920-428-5607

APPLICANT(S) Signature(s)  Rob NEWHOUSE, managing member.

Date Signed 7/1/2021

OUTAGAMIE COUNTY CERTIFIED SURVEY MAP NO. 8152

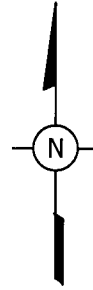
A Combination Certified Survey Map
 Lots 10 and 11, HJT Business Park - North, Village of
 Little Chute, Outagamie County, Wisconsin.

Sarah R. Van Camp

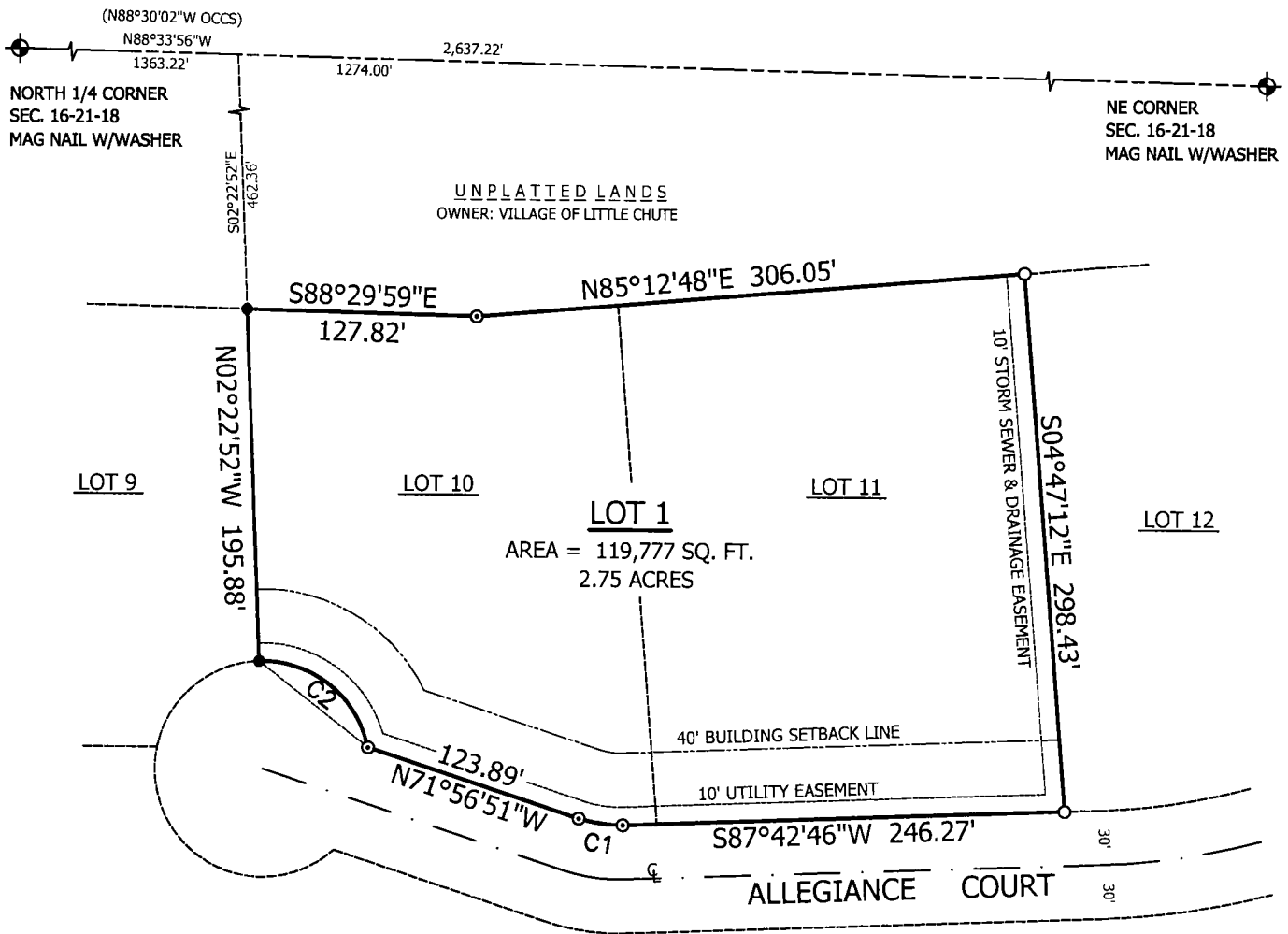
SARAH R VAN CAMP, REGISTER OF DEEDS
 Return via MAIL (REGULAR)
 HARRIS & ASSOCIATES

LEGEND

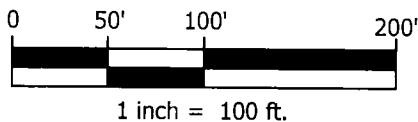
- = 3/4" x 24" REBAR SET
WEIGHING 1.502 LBS./LIN. FT.
- ◉ = 1 1/4" REBAR FOUND
- = 3/4" REBAR FOUND



Bearings are referenced to
 the recorded plat of HJT
 Business Park - North.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	70.00'	24.85'	24.72'	N82°07'01.5"W	20°20'21"
C2	60.00'	84.21'	77.47'	N52°09'21"W	80°25'00"



HARRIS & ASSOCIATES, INC.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 2718 NORTH MEADE ST.
 APPLETON, WI 54911
 TEL: (920) 733-8377
 FAX: (920) 733-4731
 www.harrisinc.net

Robert J. Harris 6-9-21
 Robert J. Harris PLS 1943 Date

CERTIFIED SURVEY MAP **8152**

Lots 10 and 11 in HJT Business Park - North, Village of Little Chute, Outagamie County, Wisconsin.

SURVEYOR'S CERTIFICATE

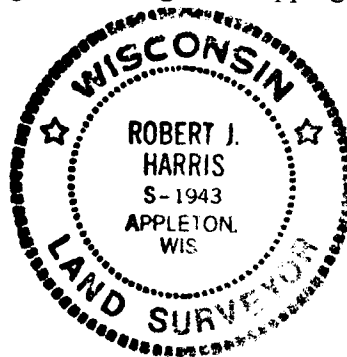
I, Robert J. Harris, Professional Land Surveyor, certify that I have surveyed, combined and mapped all of Lots 10 and 11 in HJT Business Park - North, being part of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 16, T21N, R18E, Village of Little Chute, Outagamie County, Wisconsin.

That I have made such survey, map and land division as shown hereon, under the direction of HJT Development, Inc.

That this map is a correct representation of the exterior boundary lines of land surveyed and the division of that land.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Ordinances of the Village of Little Chute in surveying, combining and mapping the same.

Robert J. Harris 6-9-21
Robert J. Harris PLS-1943 Date



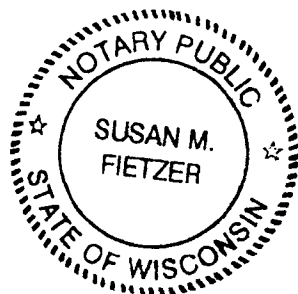
OWNER'S CERTIFICATE

As owner, I hereby certify that I caused the land described to be surveyed, divided and mapped as shown and represented on this map. I also certify that this plat is required by 2.36.10 or 2.36.12 to be submitted to the following for approval or objection: Outagamie County

[Signature] 6-28-2021
Authorized Representative Date
HJT Development, Inc.

State of Wisconsin)
 ss
Outagamie County)

Personally came before me this 28th day of June, 2021, the above-named person to me known to be the person who executed the foregoing instrument and acknowledged the same.



Susan M. Fietzer 6-28-21
Notary Public Date
My commission expires 2-16-24

CERTIFIED SURVEY MAP 8152

Lots 10 and 11 in HJT Business Park - North, Village of Little Chute, Outagamie County, Wisconsin.

TREASURER'S CERTIFICATE

As duly elected Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

<u>Lisa Remiker - De Wall</u>	<u>6/23/2021</u>	<u>Lisa Aurbamp, Deputy</u>	<u>6/28/21</u>
Lisa Remiker - De Wall	Date	Trenten Woelfel	Date
Village Finance Director		County Treasurer	

VILLAGE BOARD CERTIFICATE

This Certified Survey Map has been approved by the Village Board of the Village of Little Chute, on the 16 day of June, 2021.

<u>Michael Vanden Berg</u>	<u>Laurie Decker</u>
Michael Vanden Berg	Laurie Decker
Village President	Village Clerk

GENERAL NOTES:

1. This Certified Survey Map is all of Tax Parcel Nos. 260442900 & 260443000.
2. This Certified Survey Map is wholly contained within the lands described in Document No. 1598538.
3. The property owner of record is HJT Development, Inc.
4. Building setback lines and easements as shown per HJT Business Park - North.

Robert J. Harris 6-9-21
 Robert J. Harris PLS-1943 Date

